



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelawadi, Dharwad

Title	Completion of partially constructed 2 homes built by end users with thermally comfortable, sustainable and affordable solutions – Harobelawadi Village, Dharwad, Karnataka, under the “Homes for LIFE” project
Timeline	2 months
Expected area of expertise	<ul style="list-style-type: none">• Minimum 3 years' experience in residential construction.• Understanding of context-appropriate, energy efficient and affordable construction techniques.• Knowledge of basic thermal comfort strategies for homes and building construction materials for maintaining comfort strategies and energy efficiency.• Ability to manage procurement, labor, site coordination and quality control/ timely delivery of projects.
Apply Link	https://forms.gle/BQ48kGCbwMymC7CV8

About SELCO Foundation

SELCO Foundation’s mission is to create a platform of solutions that are climate smart to bridge environmental sustainability and poverty alleviation. With holistic development as the primary focus, the organization strives to create equitable societies, where services are accessed by all communities. The interventions of SELCO lead to a sustainable delivery model of essential services like livelihoods, and health till the last mile. (Read more about SELCO here: <http://www.selcofoundation.org/>)

About Homes for LIFE project

India faces a significant housing challenge, including shortage of approximately 18.78 million units, inadequate infrastructure, and limited access to basic amenities. About 95% of this shortage affects economically weaker sections and low-income groups. These challenges are intensified by climate vulnerabilities, inefficient building designs, and limited access to sustainable construction materials and financing options.

To address these challenges, SELCO Foundation is committed to building sustainable, energy-efficient, thermally comfortable, and climate-resilient homes that enhance the well-being of vulnerable communities. Recognizing the intersection of housing, energy access, and climate adaptation, SELCO has facilitated the construction and upgrading of homes, embedding energy-efficient technologies and practices and effective built environment. These interventions have led to enhanced thermal comfort, energy savings, and overall improvements in health and productivity for occupants. Notable efforts include the development of guidelines for energy-integrated built environments.



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1. Observations

- Both houses are constructed just below the lintel level
- Structural quality has been checked and found to be good.
- Key components like roofing, plastering, internal utilities and water supply are missing.
- No provision for water connection inside the houses.
- Window sizes are too small and will need expanding

2. Project Impact

- *Improved Housing Access:* Families will move into completed, safe homes.
- *Community Well-being:* Better housing leads to improved health, education, and social cohesion.
- *Climate Adaptation:* Thermally comfortable homes reduce heat stress and energy demand.

3. Scope of Work

a. Scope of Work: House 1 – Laxmi's House

Total House Area: 475 sq. ft.

House area: 415 sq. ft.

Front Veranda Extension: 60 sq. ft. (New construction)

i. **Current Status:**

- 2' plinth completed.
- Flooring not started; PCC yet to be done.
- **Construction halted before lintel beam; 9" outer walls (up to 6') and 4.5" partition walls (up to 3' sill level) built without plastering or finishes.**
- Door and window positions are incorrect.
- Door/window frames and shutters not available on site.
- Loft and chajja not constructed.
- Inner shelves not constructed.
- **Electrical and plumbing works not started.** Panchayat lines for the same are present in front of the house.
- Soak pit and rainwater recharge pit not constructed.
- **Front veranda not constructed;** to be built from foundation to roof.

Annexure I: Site photos



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelowadi, Dharwad



ii. Construction Details:

- Civil, Interior & Structural Work:
 - Execute all works as per provided **architectural** (Annexure II) **and structural drawings** (Annexure III).
 - Construction of the main house will start **from lintel beam casting till finishes**.
 - Includes front veranda construction.
 - All civil, masonry, and finishing works (**including walls, flooring, plastering, shelves, lofts, chajja, internal finishes, door, window, ventilator**) as per BOQ (Annexure IV).
 - Please refer to the detailed BOQ (Annexure IV) for a comprehensive understanding of the scope, materials, and specifications required for the complete execution of the project.
- Roofing:
 - **RCC slab roofing** to be constructed above lintel level as per structural drawings (Annexure III).
 - The roof is to be finished with **heat-resilient tiles** (see BOQ for specifications- Annexure IV).to enhance thermal comfort.
 - Construct and install **two skylights** on roof:
 - One for the bathroom
 - One for the main room (for natural light and ventilation)
- Facade:
 - The painting and design for the **front facade** will be completed per the approved design provided by SELCO.

iii. Electrical Scope:

- All internal wiring for **AC and DC loads** must be concealed within the walls using conduits.
- Contractor to supply and install:
 - Switchboards, sockets, main switch, panel board, holders, and all internal wiring.
- **Electrical fixtures such as lights, fans, and fittings will be procured by SELCO Foundation but must be installed by the contractor.**
- Coordination required with SELCO's solar vendor during solar system integration.
- Solar wiring is out of contractor's scope, but support during installation is expected.
- Drawings will be provided; for on grid system wiring tech team will guide on site.



**Terms of Reference (ToR) for completion of Partially Constructed
Homes with Sustainable and Thermally Comfortable Solutions at
Harobelowadi, Dharwad**

iv. Plumbing Scope:

- Contractor to implement entire plumbing network as per BOQ and drawings.
- This includes: Water lines, downpipes from roof, drainage, internal/external pipework and fixtures like drain jali etc.
- Plumbing fixtures such as taps, showers, etc. will be procured by SELCO Foundation, but installation must be done by the contractor.

v. General Requirements:

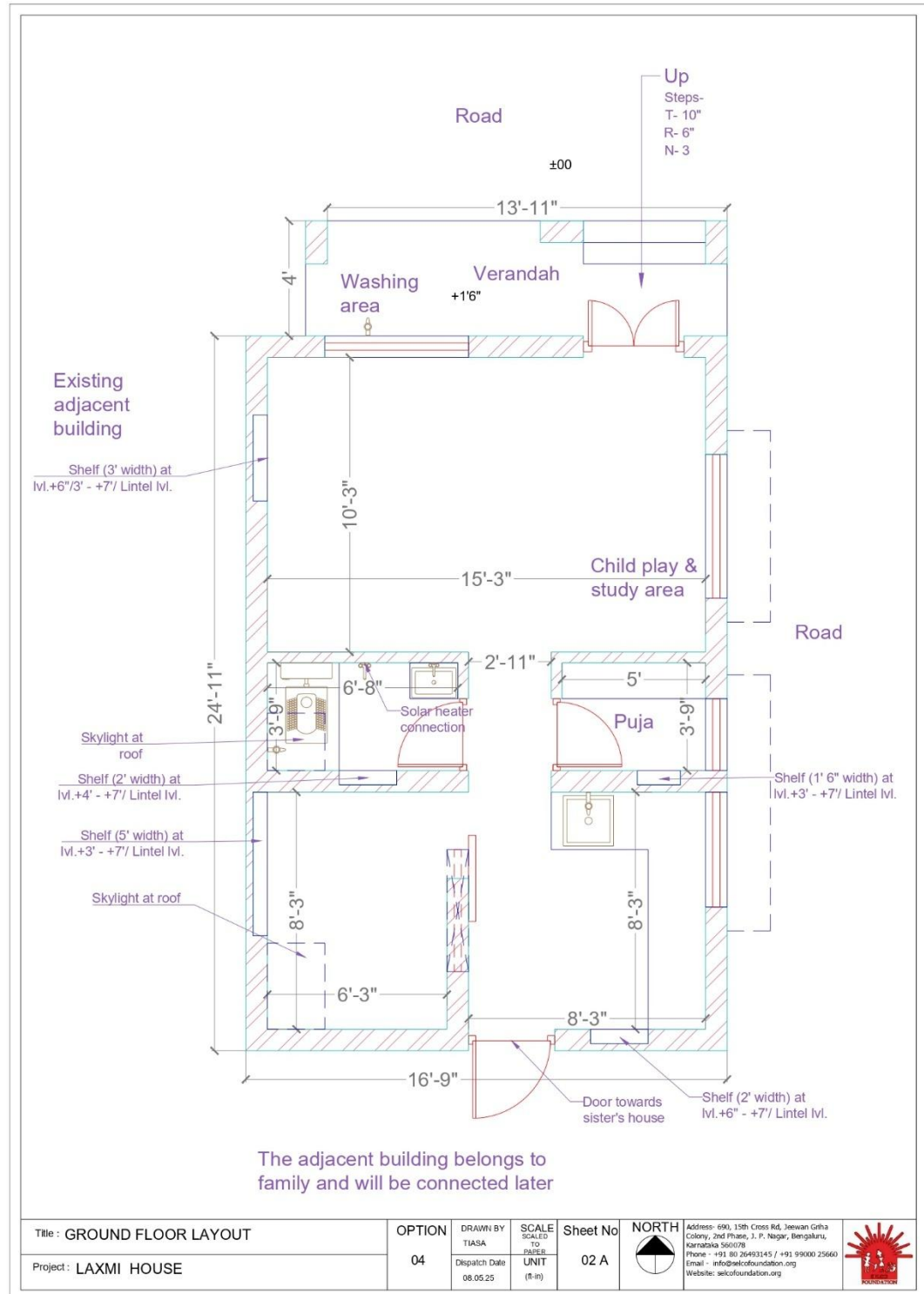
- Contractor responsible for all labor and on-site execution.
- Must follow all BOQ (Annexure IV) specifications and approved drawings.
- Daily site quality supervision will be conducted by the designated site supervisor.
- Contractor will provide daily progress reports along with site photos, signed by the assigned SELCO representative.
- Any change in design, material, or specification must receive prior written approval from the designated SF team in charge.



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vi. **Layout**

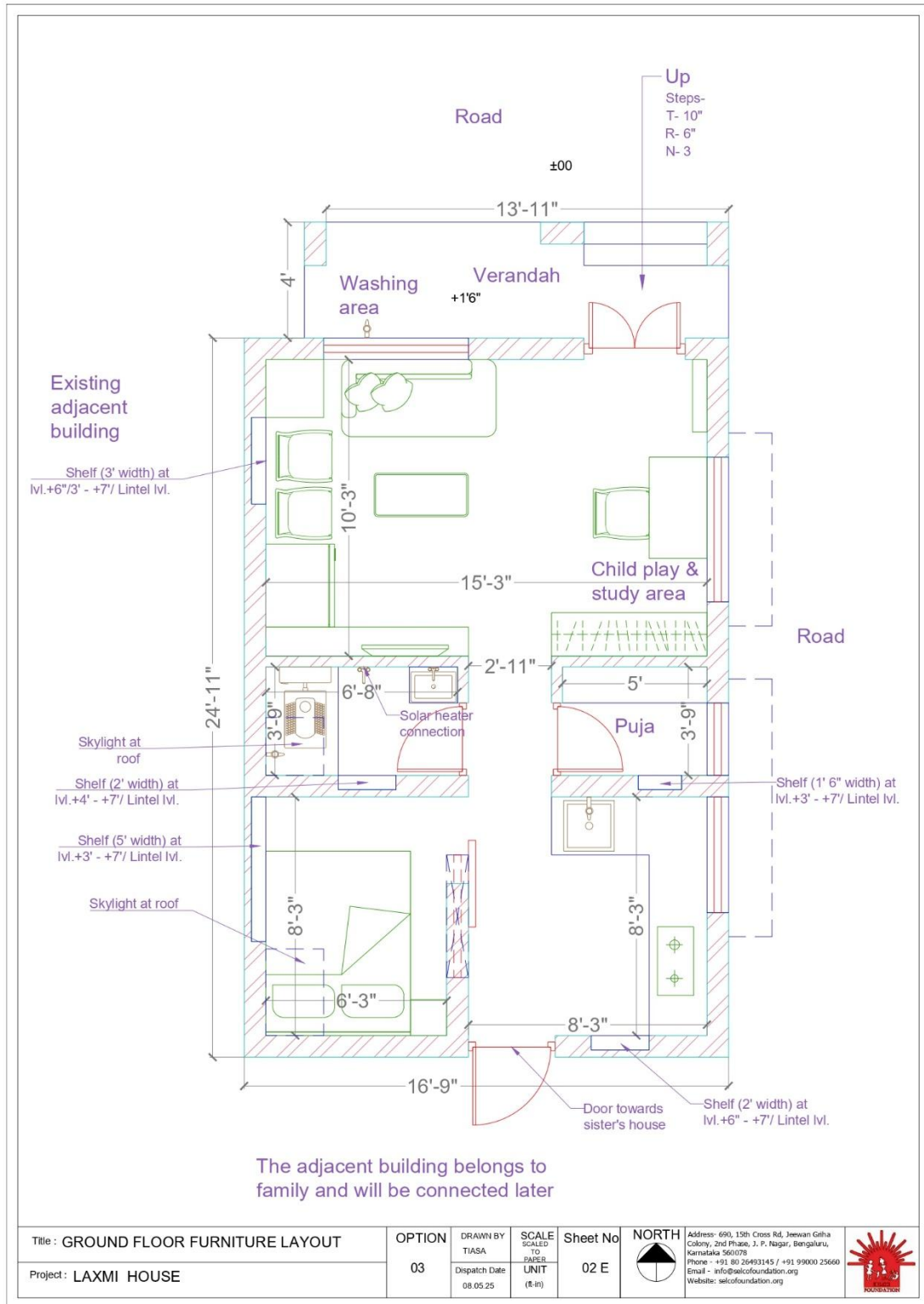
Annexure II-A: Ground Floor Layout





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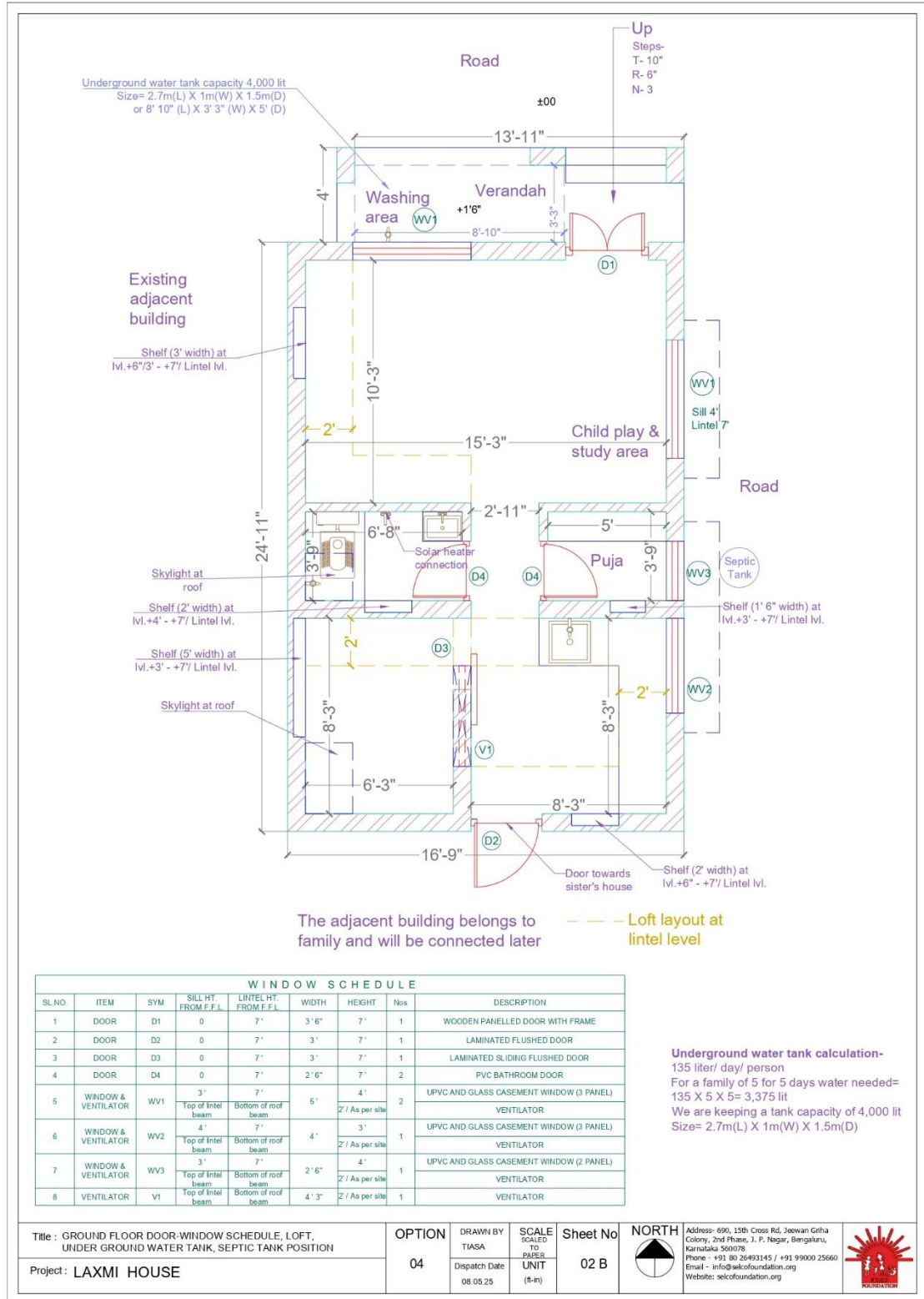
Annexure II-B: Ground Floor Furniture Layout





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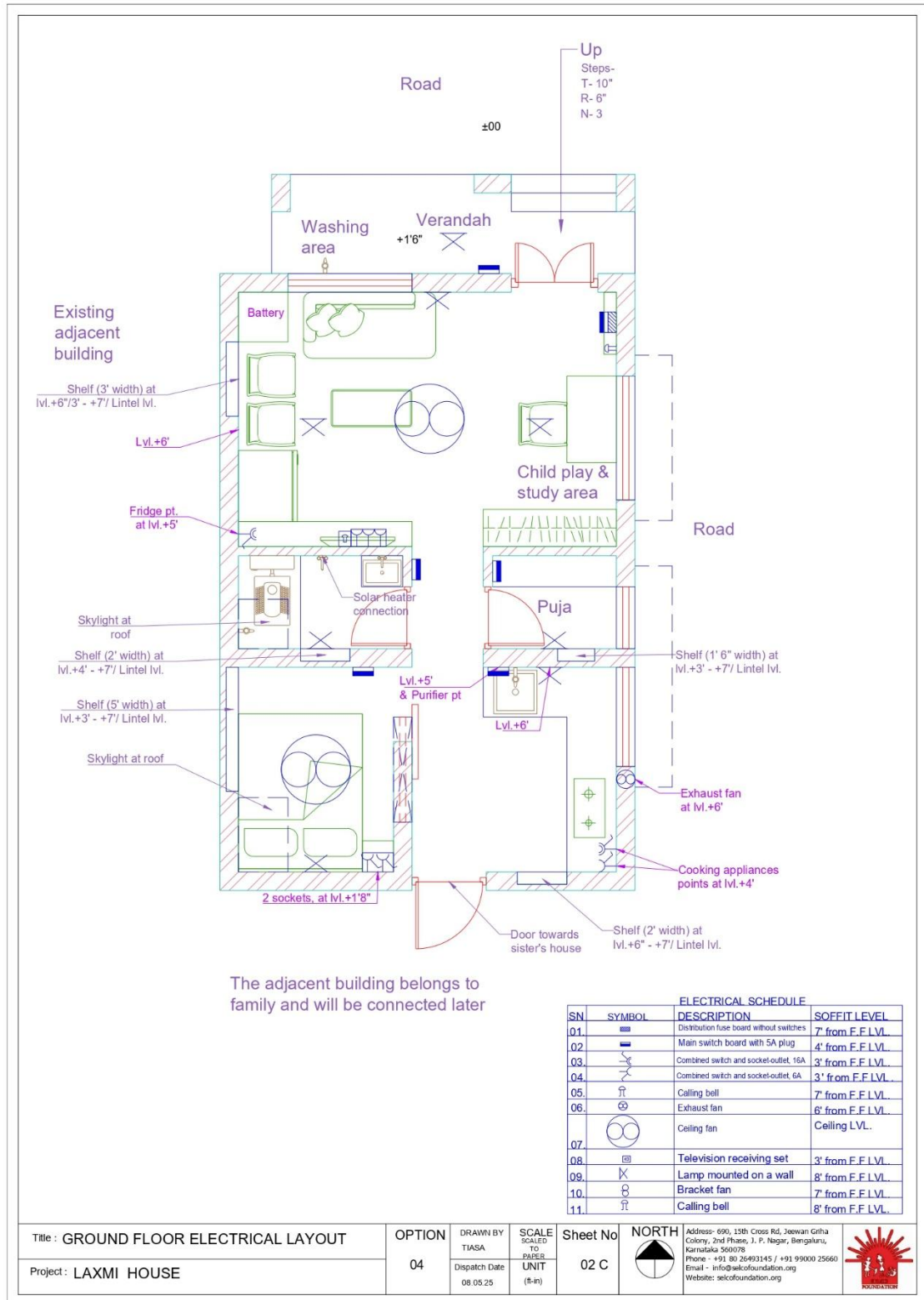
Annexure II-C: Ground Floor DW Schedule & Loft position





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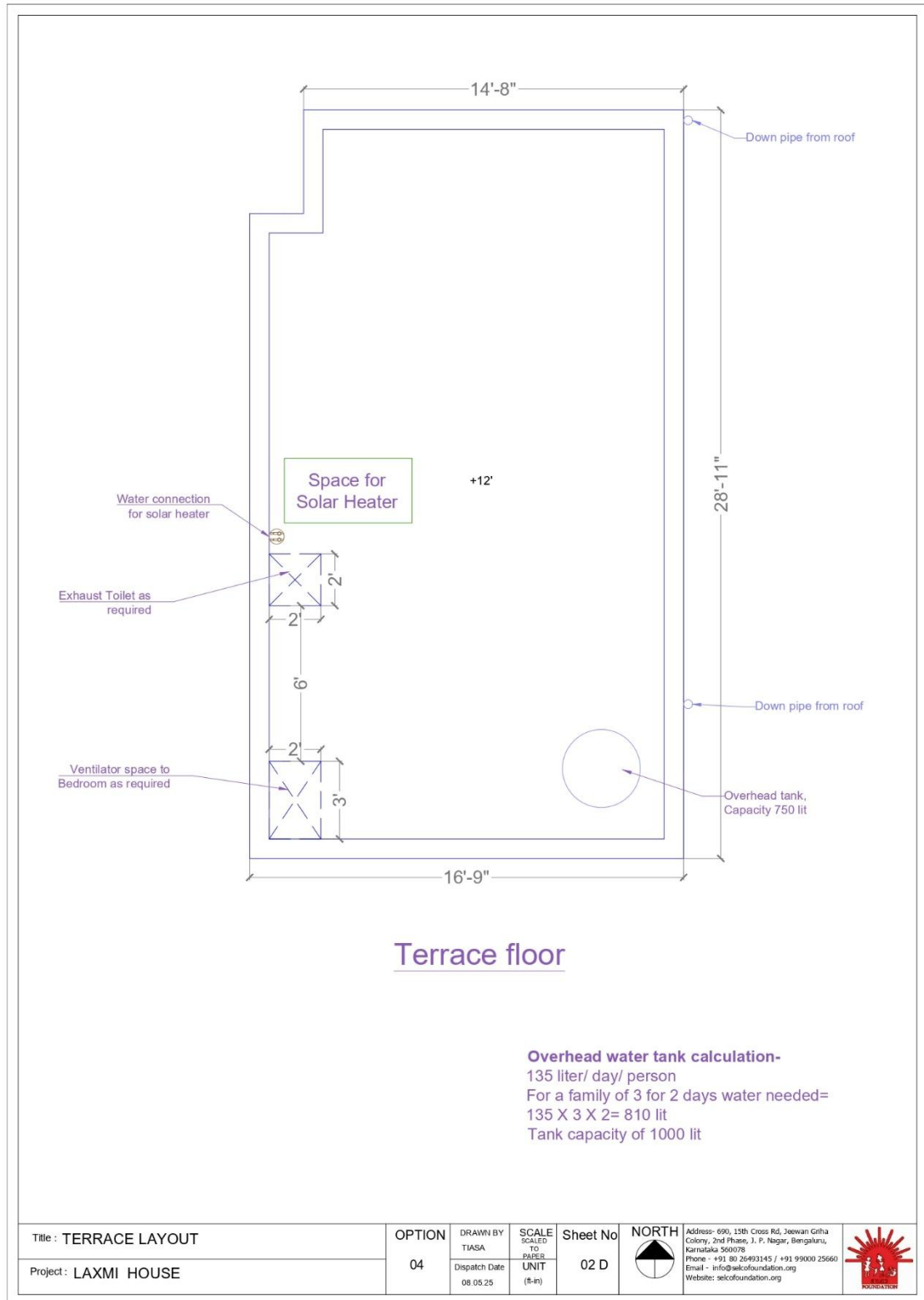
Annexure II-D: Ground Floor Electrical Layout





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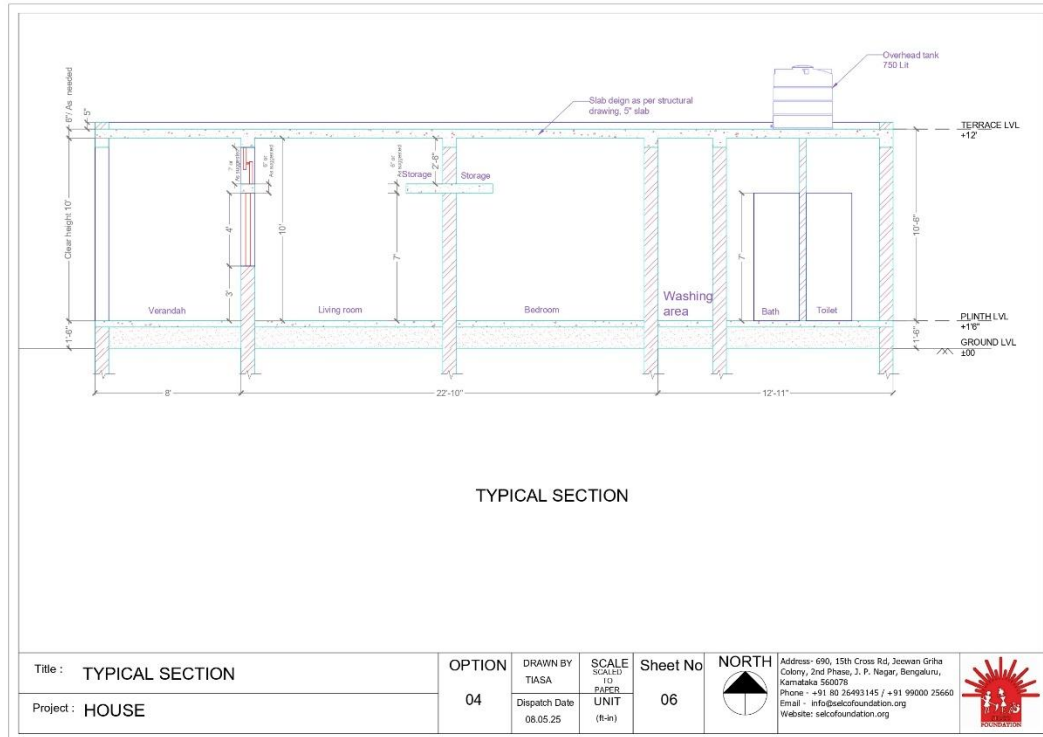
Annexure II-E: Ground Floor Terrace



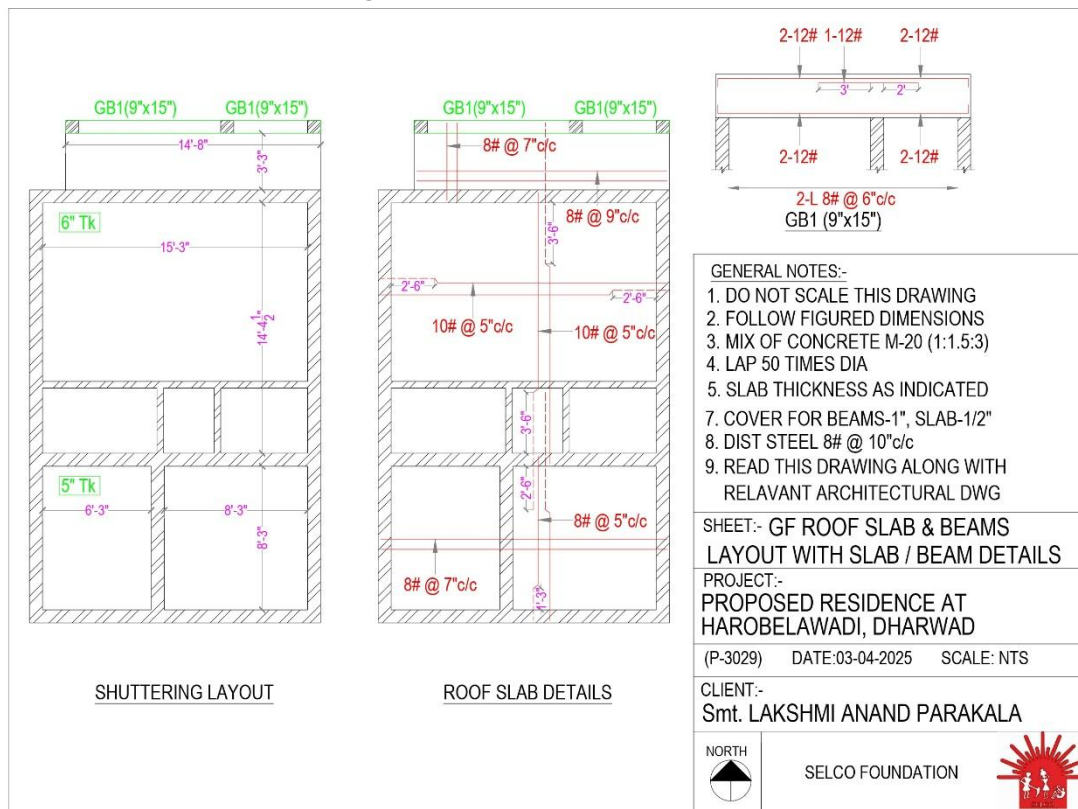


Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelawadi, Dharwad

Annexure II-F: Section



Annexure III: Structural Drawing





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vii. **BOQ**

Annexure IV: BOQ

Total sqft	475	BOQ FOR PROPOSED RESIDENCE FOR Mrs.Lakshmi at Harobelevadi village					
		Sl.No	Particulars	Unit	Qty	Rate	Amount
Verandah Civil 60 sqft	Plinth	1	Foundation earth excavation Earth work excavation for foundation including lead, lift etc. complete (Min 4' excavation)	cft	200		
		2	PCC Providing and laying cement concrete 1:4:8 for foundations and floor bed using 40mm size jelly including tamping, curing etc. complete	cft	28		
		3	Stone masonry Providing size stone masonry for foundation and basement in CM 1:8 in courses of 20 cms high and bond stones 2 mtrs apart in each course including stones hammer dressed, curing, etc., complete	cft	185		
		4	RCC Plinth beam Providing and laying M 20 grade cement concrete for plinth beam of size 9' x 12" including tamping curing etc. complete.	cft	17		
		5	Earth filling Earth filling to the basement with suitable soil including lead, watering, etc. complete.	cft	100		
		6	Brick for piers Providing and constructing 9 inch thick burnt brick walls -3 nos brick piers in verandaha with cement mortar (1:6) with necessary scaffolding, curing, etc complete	cft	100		
	Roof	7	Steel Providing MS/Tor steel-Fe 550 TMT reinforcement for all RCC works including bending, binding, keeping in position etc. complete (RCC roof, lintel, chajja, loft)	Kgs	As per design		
		8	Roof slab & beam Providing and laying cement concrete M 20 for RCC roof beams and slab using 20mm and downsize size granite jelly including centering, machine mixing, lifting, laying, tamping, curing etc. complete	cft	As per design		
	Plaster	9	Plastering ceiling Providing 12 mm thick plastering to ceiling in CM 1:4 inside with lime rendering including providing and removing scaffolding, rounding of all corners wherever required, curing etc. complete	sft	59		
	Painting	10	Exterior paint Providing two coats of waterproof cement	sft	59		



**Terms of Reference (ToR) for completion of Partially Constructed
Homes with Sustainable and Thermally Comfortable Solutions at
Harobelawadi, Dharwad**

			paint for outside area with approved quality and colour Apex paint including one coat of primer , etc. complete				
	Flooring	11	Cuddapah flooring Providing and laying cuddapah flooring in C M 1:4 for Verandah and Entrance steps including curing, etc complete	sft	71		
		12	Cuddapah skirting Providing and laying cuddapah skirting in C M 1:4 for Front and rear Verandah and steps including curing, etc complete	rft	30		
	Roof tiles	13	White heat resistant tiles Providing and laying weather proof course using White heat resistant tiles of 12 " x 12" size, Johnson or equivalent approved make laid to slopes in CM 1:4 after cleaning the roof surface with wire brush, applying 2 coats of waterproofing polymer, joints grouted with matching tile grout, providing coving cement plaster to corners, curing, etc complete.	sft	59		
Sub Total							
House Civil 415 sqft	Anti Termite	14	Anti Termite Anti Termite treatment				
	PCC	15	PCC Providing and laying cement concrete 1:4:8 for foundations and floor bed using 40mm size jelly including tamping, curing etc. complete	cft	147		
	Brick	16	Brick 9" Providing and constructing 9 inch thick burnt brick walls above lintel level and parapet wall upto 0' 9" height with cement mortar (1:6) with necessary scaffolding, curing, etc complete	cft	200		
		17	Brick 4.5" Providing and constructing 4 inch wide partition walls in burnt brick masonry with cement mortar (1:4) with necessary scaffolding, curing, etc complete	sft	60		
	RCC	18	RCC lintel Providing and laying M 20 grade cement concrete for RCC lintel as per design including, tamping, curing, etc. complete	cft	100		
		19	RCC Chajja Providing and laying M 20 grade cement concrete for RCC Chajja (4" depth) as per design including, tamping, curing, etc. complete	sft	24		
		20	RCC loft Providing and laying M 20 grade cement concrete for RCC loft as per design including plastering with CM 1:3 curing, etc. complete	sft	80		



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		21	RCC roof beams and slab Providing and laying cement concrete M 20 for RCC roof beams and slab using 20mm and downsize size granite jelly including centering, machine mixing, lifting, laying, tamping, curing etc. complete	cft	As per design		
		22	RCC sills Providing and laying cement concrete for 3 inch thick RCC sills below window openings using clean granite or trap jelly, 20mm and down size with steel or plywood or plank centering and shuttering form work including machine mixing, laying vibrating and finishing nicely with CM (1:3) including curing etc., complete	cft	4		
	Steel	23	Steel Providing MS/Tor steel-Fe 550 TMT reinforcement for all RCC works including bending, binding, keeping in position etc. complete (RCC roof, lintel, chajja, loft)	Kgs	As per design		
	Door	24	Main door Providing and fixing wooden shutter for main door, type D1 with 32mm thick panelled door including all fittings, 2 coats enamel painting over one coat of primer, putty, etc. complete (1nos)	no	1		
		25	Rear door Providing and fixing wooden shutter for rear door, type D2 with 32mm thick panelled door including all fittings, 2 coats enamel painting over one coat of primer, putty, etc. complete (1nos)	no	1		
		26	Bedroom Door Providing and fixing sliding flush door shutters for types D3 with 25mm thick flush door finished with laminate including all fittings, complete (1nos)	no	1		
		27	Bath & Puja Door Providing and fixing doors, type D4 PVC frames and door including all fittings, etc. complete (2nos)	no	2		
	Window & ventilator	28	Window & Ventilator Providing and fixing windows /ventilators with UPVC glazed casement windows, fittings, etc. complete. Inside to be provided with openable mosquito mesh with frame	sft	64		
		29	Window & Ventilator grill Providing and fixing windows /ventilators with grills, fittings, etc. complete.	sft	64		
	Skylight	30	Skylight Providing and fixing Skylight in roof with M.S grill and toughened glass- 3' x 2' in Bedroom and 2' x 2' in Bathroom on the side.	sft	10		



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	Plaster	31	Plastering ceiling Providing 12 mm thick plastering to ceiling in CM 1:4 inside with lime rendering including providing and removing scaffolding, rounding of all corners wherever required, curing etc. complete	sft	400		
		32	Plastering interior Providing 20 mm thick plastering to burnt brick masonry in CM 1:6 inside with lime rendering including providing and removing scaffolding, rounding of all corners wherever required, curing etc. complete	sft	1,718		
		33	Plastering exterior Providing 20mm thick plastering to brick masonry in CM 1:6 outside with sponge finishing including providing and removing scaffolding, curing etc. complete for main house & front verandah	sft	618		
	Cement flooring	34	Cement flooring Providing and laying cement flooring for Living, Bed Room, Kitchen, including curing, etc complete	sft	311		
		35	Cement Skirting Providing and laying cement skirting 4" for Living, Bed Room, Kitchen, including curing, etc complete	sft	42		
	Tile	36	Tile Toilet Providing and laying Anti-skid flooring & skirting using ceramic/vitrified tiles of size 1.20 m x 0.60 m or 0.60 x 0.60 m in C M 1:4 for Bathrooms including grouting the joints, acid wash, curing, etc complete	sft	32		
		37	Kitchen Splash back tile Providing and laying glazed heat and oil resistant tiles in Kitchen. 2 feet high Splash back for kitchen counter in 1:4 C.M. of approved make and size fully finished including acid wash etc	sft	31		
		38	Toilet wall tile Providing and laying glazed heat and oil resistant tiles in WC and bathrooms. 7 feet height for bathroom in 1:4 C.M. of approved make and size fully finished including acid wash etc	sft	145		
	Heat resistant tiles	39	White heat resistant tiles Providing and laying weather proof course using White heat resistant tiles of 12 " x 12" size, Johnson or equivalent approved make laid to slopes in CM 1:4 after cleaning the roof surface with wire brush, applying 2 coats of waterproofing polymer, joints grouted with matching tile grout, providing coving cement plaster to corners, curing, etc complete.	sft	376		



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelawadi, Dharwad

	Paint	40	Exterior paint Providing two coats of waterproof cement paint for outside area with approved quality and colour Apex paint including one coat of primer, etc. complete for main house & front verandah	sft	618		
		41	Interior paint Providing two coats of Low VOC Emulsion paint for internal ceiling/ wall surfaces of verandah. Living, Bedroom with approved quality and colour paint including once coat of primer, putty work, etc. complete	sft	843		
		42	Kitchen, Pooja & bathroom gloss paint Providing two coats of Low VOC Semi Gloss Emulsion paint for internal ceiling/ wall surfaces of Kitchen, Pooja Room and over 7 feet dadoing in Bathroom and Bathroom ceiling with approved quality and colour paint including once coat of primer, putty work, etc. complete	sft	1,275		
	Kitchen & Puja slab	43	Kitchen & Puja Cuddapah slab Providing and fixing black cuddapah counter in kitchen and Pooja with necessary brickwork supports, edge chamfering/rounding	sft	29		
Sub Total							
Services	Water supply, electrical and sanitary	44	Watersupply, electrical and sanitary services Watersupply,electrical and sanitary services including soakpit but excluding fixtures like fan, tubelight, etc	L.S.			
		Services	45	Overhead water tank Providing and fixing 4 layered White overhead tank placed on a 6 inch high brickwork pedestal plastered in CM 1:3	Lts	750	
	Services	46	Underground sump tank Providing and constructing underground sump tank with 9 inches thick burnt brick masonry walls plastered both sides and RCC roof 5 inch thick and inspection chamber 2' x 2' provided with FRP lid, etc. complete	Lts	4,000		
		47	Washing platform Providing washing platform	L.S.			
		48	Rainwater recharge pit Rainwater harvesting with open well lined with precast cement concrete rings and covered with RCC lid	L.S.			
		Sub Total					
Interior	Kitchen & Puja storage	49	Kitchen & Puja Cuddapah storage Providing and fixing cuddapah stone in kitchen and Pooja shelving internally	sft	29		
	Shelf & Loft Storage	50	Open Cuddaph Shelf Providing and fixing open Cuddapah stone	sft	10		



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelawadi, Dharwad

			shelf 10" deep, fixed in wall with necessary supports at Living & Puja areas, including edge finishing and complete				
		51	Shelf Cuddaph Providing and fixing cupboards with cuddapah stone shelving internally	sft	92		
	In built Seating	52	Inbuilt Seating space Providing and fixing black stone top in living room with necessary brickwork supports, edge chamfering/rounding & 20mm thick plywood frame and shutter (Partly MS jali for battery ventilation), necessary hardware and polishing, etc, complete	sft	24		
Sub Total							
			GRAND TOTAL				
			ADD GST IF APPLICABLE				
		Notes:					
		1	All quantities indicated are subject to remeasurement				
		2	Any change in specification has to be approved in writing by the Architect in charge				
		3	Non tendered items will be executed at cost plus 15% contractor's profit with prior approval in writing by the Architect in charge				

viii. Rendered Images for Reference

Annexure V: Renders



The attached images are visual representations of the proposed house design. These renders are for reference and may not exactly reflect the final built outcome.



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelowadi, Dharwad

b. Scope of Work: House 2 – Sashikala's House

Main house- 377 sq. ft (End user will build till lintel)

Front side verandas- 106 sq. ft. (End user will build till plinth)

Rear side verandas- 159 sq. ft. (End user will build till plinth)

Toilet- 55 sq. ft. (End user will build till plinth)

Total House built up area- 723 sq. ft.

i. Current Status:

- 1.5 ' plinth completed.
- Flooring not started; floor PCC yet to be done.
- **Construction halted before the plinth beam** (below lintel level); **9” outer walls (up to 7’)** built without plastering or finishes.
- No partition walls at site
- Door/window frames and shutters not available on site.
- Loft and chajja not constructed.
- **Electrical and plumbing works not started.** Panchayat lines for the same are present in front of the house.
- Soak pit and rainwater recharge pit not constructed.
- **Front veranda, rear verandah toilet & bath not constructed;** to be built from foundation to roof.

Annexure VI : Site photos



ii. Construction Details:

- Civil, Interior & Structural Work:
- Execute all works as per provided **architectural** (Annexure VII) **and structural drawings** (Annexure VIII).
- Construction of the main house will start **from lintel beam casting till finishes.**
- Includes **front & rear veranda and toilet construction from foundation.**
- All civil, masonry, and finishing works (**including walls, flooring, plastering, shelves, lofts, Internal finishes, door, window, ventilator**) as per BOQ (Annexure IX).
- Please refer to the detailed BOQ for a comprehensive understanding of the scope, materials, and specifications required for the complete execution of the project.



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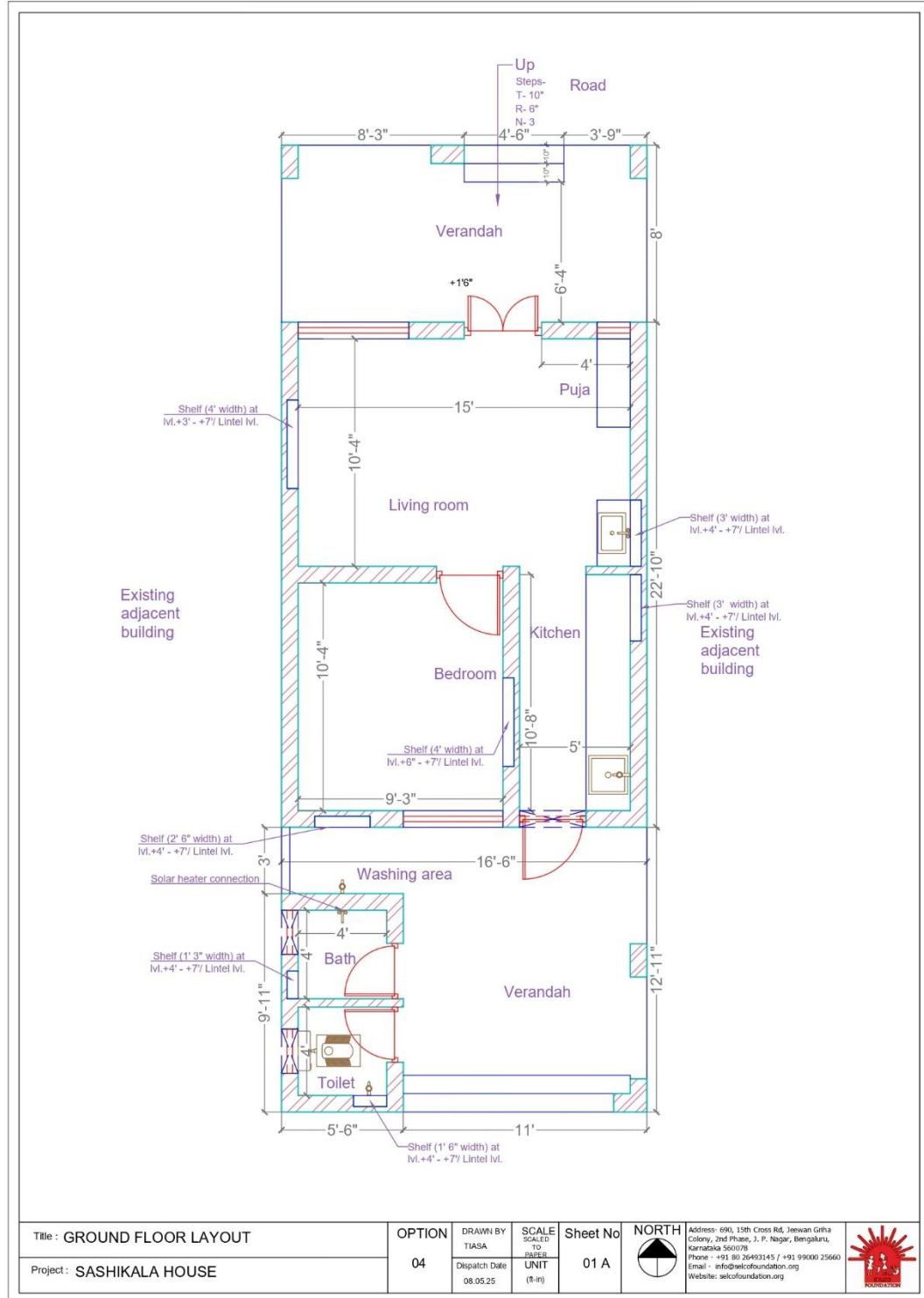
- Roofing:
 - **RCC slab roofing** to be constructed starting from just below lintel level as per architectural (Annexure VII) & structural drawings (Annexure VIII).
 - Roof to be finished with **heat-resilient tile** to enhance thermal comfort.
 - Contractor to procure all necessary materials and carry out all labor as per BOQ (Annexure IX).
- Facade:
 - The painting and design for the **front facade** will be completed per the approved design provided by SELCO Foundation team.
- iii. **Electrical Scope:**
 - All internal wiring for **AC and DC loads** must be concealed within the walls using conduits.
 - Contractor to supply and install:
 - Switchboards, sockets, main switch, panel board, holders, and all internal wiring.
 - **Electrical fixtures such as lights, fans, and fittings will be procured by SELCO Foundation but must be installed by the contractor.**
 - Coordination required with SELCO's solar vendor during solar system integration.
 - Solar wiring is out of contractor's scope, but support during installation is expected.
 - Drawings will be provided; for on grid system wiring tech team will guide on site.
- iv. **Plumbing Scope:**
 - Contractor to implement entire plumbing network as per BOQ and drawings.
 - **This includes: Water lines, downpipes from roof, drainage, internal/external pipework and fixtures like drain jali etc.**
 - Plumbing fixtures such as taps, showers, etc. will be procured by SELCO Foundation, but installation must be done by the contractor.
- v. **General Requirements:**
 - Contractor responsible for all labor and on-site execution.
 - Must follow all BOQ (Annexure IX) specifications and approved drawings.
 - Daily site quality supervision will be conducted by the designated site supervisor.
 - Contractor will provide daily progress reports along with site photos, signed by the assigned SELCO Foundation representative.
 - Any change in design, material, or specification must receive prior written approval from the designated SF team in charge.



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vi. Layout

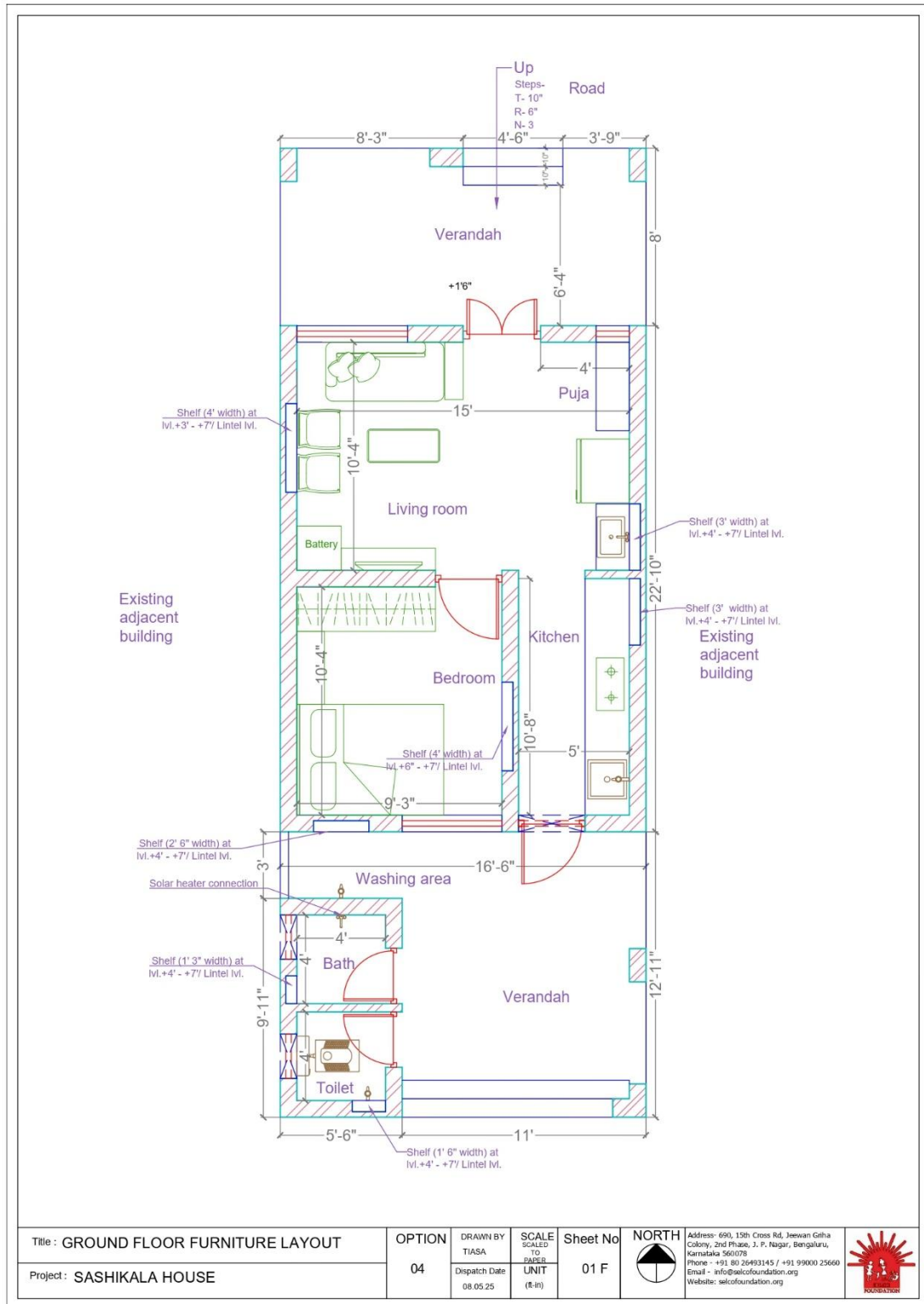
Annexure VII-A: Ground Floor Layout





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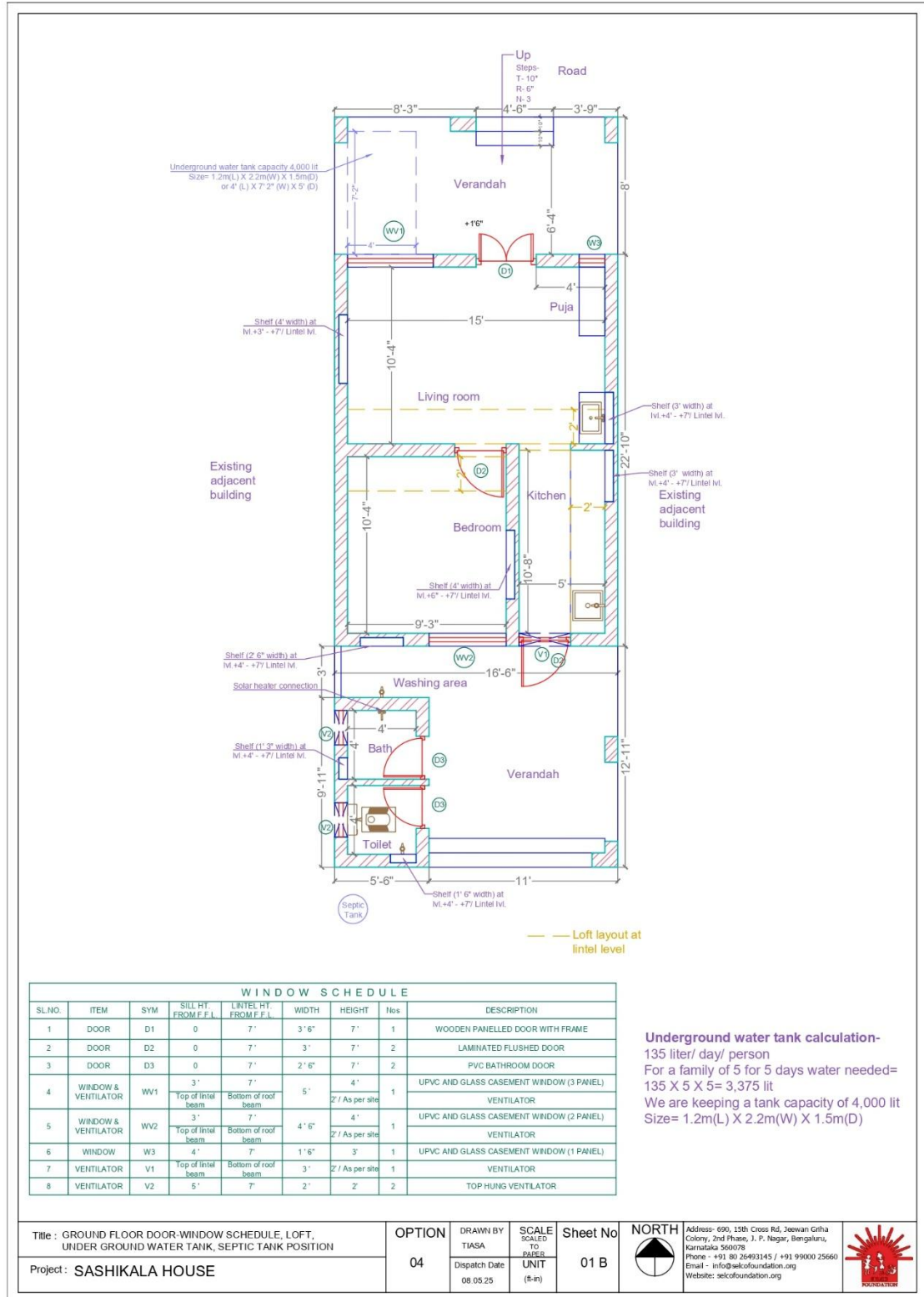
Annexure VII-B: Ground Floor Furniture Layout





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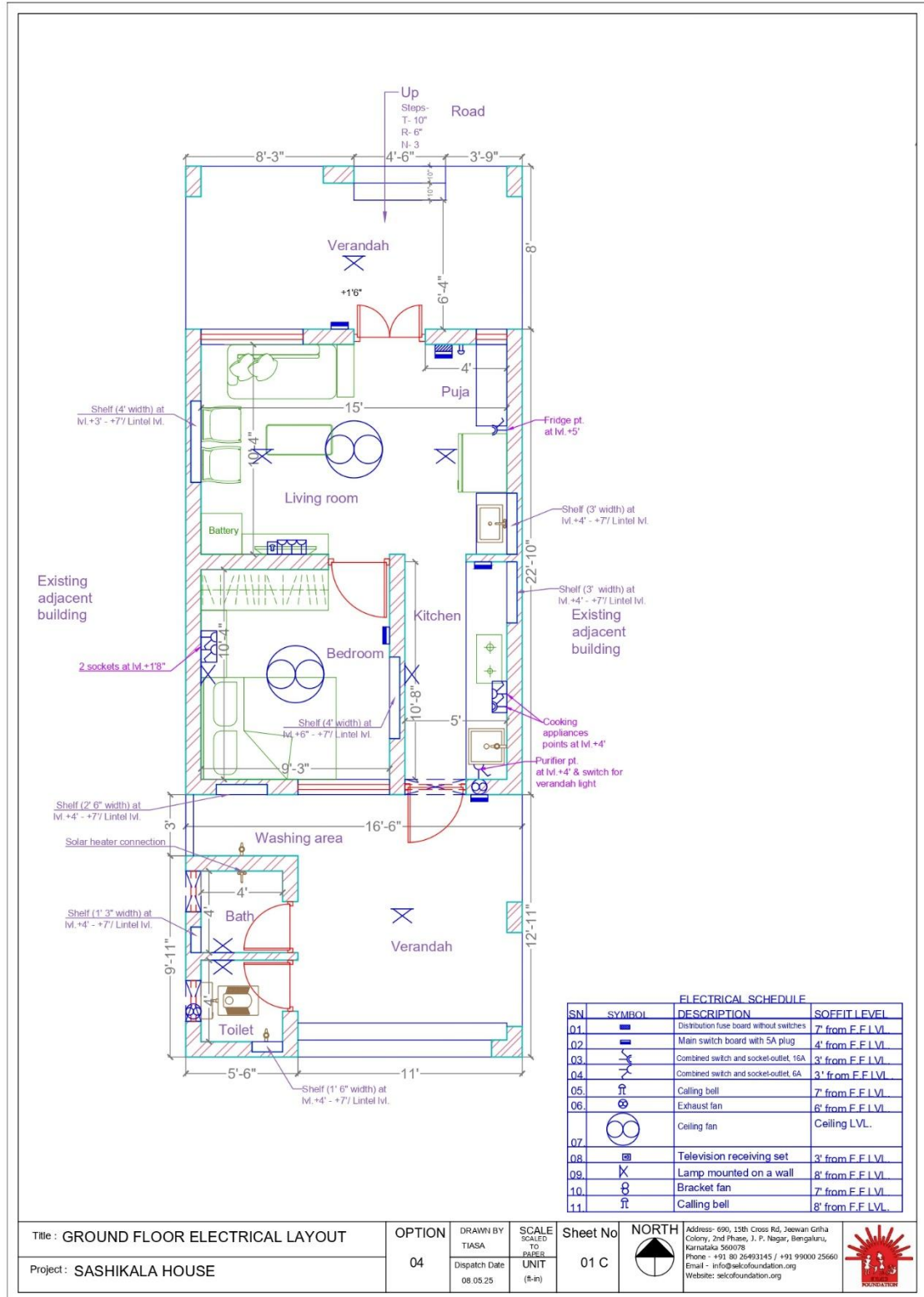
Annexure VII-C: Ground Floor DW Schedule & Loft position





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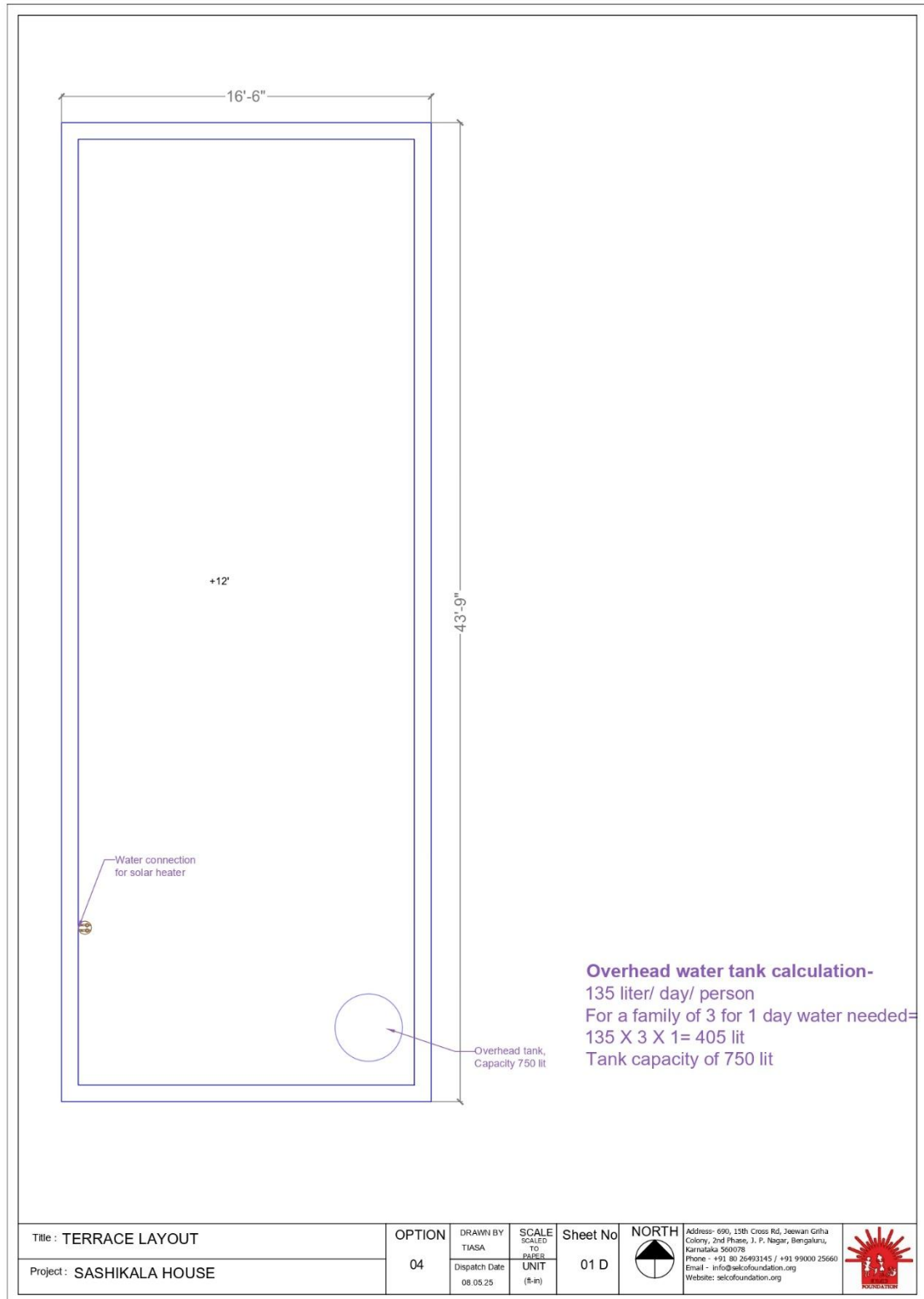
Annexure VII-D: Ground Floor Electrical Layout

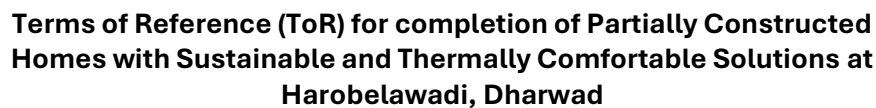




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Annexure VII-E: Ground Floor Terrace



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vii. BOQ

Annexure IX: BOQ

Total sqft	723	BOQ FOR PROPOSED RESIDENCE FOR Mrs.Shasikala at Harobelevadi village					
		Sl. No	Particulars	Unit	Qty	Rate	Amount
Front Verandah 132 sft Rear Verandah 159sft Total 291sft	Plinth	1	PCC Providing and laying cement concrete 1:4:8 for foundations and floor bed using 40mm size jelly including tamping, curing etc. complete	cft	152		
		2	Brick Piers Providing and constructing burnt brick piers with cement mortar (1:6) with necessary scaffolding, curing, etc complete	cft	7.20		
	Roof	3	Steel Providing MS/Tor steel-Fe 550 TMT reinforcement for all RCC works including bending, binding, keeping in position etc. complete (RCC roof, lintel, loft)	Kgs	As per design		
		4	RCC roof beams and slab Providing and laying cement concrete M 20 for RCC roof beams and slab using 20mm and downsize size granite jelly including centering, machine mixing, lifting, laying, tamping, curing etc. complete	cft	As per design		
	Plaster	5	Plastering ceiling Providing 12 mm thick plastering to ceiling in CM 1:4 inside with lime rendering including providing and removing scaffolding, rounding of all corners wherever required , curing etc. complete	sft	250.00		
	Painting	6	Exterior paint Providing two coats of waterproof cement paint for outside area with approved quality and colour Apex paint including one coat of primer , etc. complete	sft	250.00		
	Flooring	7	Cuddapah flooring Providing and laying cuddapah flooring in C M 1:4 for Verandah and Entrance steps including curing, etc complete	sft	300.00		
		8	Cuddapah skirting Providing and laying cuddapah skirting in C M 1:4 for Front and rear	rft	115.00		



**Terms of Reference (ToR) for completion of Partially Constructed
Homes with Sustainable and Thermally Comfortable Solutions at
Harobelawadi, Dharwad**

			Verandah and steps including curing, etc complete				
	Roof tiles	9	White heat resistant tiles Providing and laying weather proof course using White heat resistant tiles of 12 " x 12" size, Johnson or equivalent approved make laid to slopes in CM 1:4 after cleaning the roof surface with wire brush, applying 2 coats of waterproofing polymer, joints grouted with matching tile grout, providing coving cement plaster to corners, curing, etc complete.	sft	250.00		
Sub total							
House 377 sqft Toilet 55 sqft Civil	PCC	10	PCC Providing and laying cement concrete 1:4:8 for foundations and floor bed using 40mm size jelly including tamping, curing etc. complete	cft	226		
	Brick	11	Brick Providing and constructing 9 inch thick burnt brick walls with cement mortar (1:6) including parapet till 0'9' height with necessary scaffolding, curing, etc complete	cft	900.00		
		12	Brick 4.5" Providing and constructing 4 inch wide partition walls in burnt brick masonry with cement mortar (1:4) with necessary scaffolding, curing, etc complete	sft	44.00		
	RCC	13	RCC lintel Providing and laying M 20 grade cement concrete for RCC lintel as per design including, tamping, curing, etc. complete	cft	110.00		
		14	RCC loft Providing and laying M 20 grade cement concrete for RCC loft as per design including plastering with CM 1:3 curing, etc. complete	sft	112.00		
		15	RCC roof beams and slab Providing and laying cement concrete M 20 for RCC roof beams and slab using 20mm and downsize size granite jelly including centering, machine mixing, lifting, laying, tamping, curing etc. complete	cft	As per design		
		16	RCC sills Providing and laying cement concrete for 3 inch thick RCC sills below	cft	4.00		



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelawadi, Dharwad

			window openings using clean granite or trap jelly, 20mm and down size with steel or plywood or plank centering and shuttering form work including machine mixing, laying vibrating and finishing nicely with CM (1:3) including curing etc., complete				
Steel	17	Steel Providing MS/Tor steel-Fe 550 TMT reinforcement for all RCC works including bending, binding, keeping in position etc. complete (RCC roof, lintel, loft)	Kgs	As per design			
Door	18	Main & Rear door Providing and fixing wooden shutter for main door, type D1 with 32mm thick panelled door including all fittings, 2 coats enamel painting over one coat of primer, putty, etc. complete (1nos)	Nos	2.00			
	19	Bedroom Door Providing and fixing sliding flush door shutters for types D2 with 25mm thick flush door finished with laminate including all fittings, complete (1nos)	Nos	1.00			
	20	Bath & Toilet Door Providing and fixing doors, type D3 WPC frames and door including all fittings, etc. complete (2nos)	Nos	2.00			
Widow & ventilator	21	Window & Ventilator Providing and fixing windows /ventilators with UPVC glazed casement windows, fittings, etc. complete. Inside to be provided with openable mosquito mesh with frame	sft	56.00			
	22	Window & Ventilator grill Providing and fixing windows /ventilators with grills, fittings, etc. complete.	sft	56.00			
Plaster	23	Plastering ceiling Providing 12 mm thick plastering to ceiling in CM 1:4 inside with lime rendering including providing and removing scaffolding, rounding of all corners wherever required , curing etc. complete	sft	400.00			
	24	Plastering interior Providing 20 mm thick plastering to burnt brick masonry in CM 1:6 inside with lime rendering including providing and removing scaffolding,	sft	2,100.00			



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelowadi, Dharwad

			rounding of all corners wherever required , curing etc. complete				
	25	Plastering exterior Providing 20mm thick plastering to brick masonry in CM 1:6 outside with sponge finishing including providing and removing scaffolding, curing etc. complete for main house, toilet, rear & front verandah	sft	800.00			
Cement flooring & skirting	26	Cement flooring Providing and laying cement flooring for Living, Bed Room, Kitchen, including curing, etc complete	sft	313			
	27	Cement Skirting Providing and laying cement skirting 4" for Living, Bed Room, Kitchen, including curing, etc complete	rft	116			
Tile	28	Tile Toilet Providing and laying Anti skid flooring & skirting (100mm high) using ceramic/vitrified tiles of size 1.20 m x 0.60 m or 0.60 x 0.60 m in C M 1:4 for Bathrooms including grouting the joints, acid wash, curing, etc complete	sft	43			
	29	Kitchen splash back, Wash area, Wash Basin, Bath & Toilet Wall Tile Providing and laying glazed heat and oil resistant tiles in 2 feet high Splash back for kitchen counter, wash basin & wash area, 4 feet in toilet, 7 feet height for bath in 1:4 C.M. of approved make and size fully finished including acid wash etc	sft	186.00			
Heat resistant tiles	30	White heat resistant tiles Providing and laying weather proof course using White heat resistant tiles of 12 " x 12" size, Johnson or equivalent approved make laid to slopes in CM 1:4 after cleaning the roof surface with wire brush, applying 2 coats of waterproofing polymer, joints grouted with matching tile grout, providing coving cement plaster to corners, curing, etc complete.	sft	400.00			
Paint	31	Exterior paint Providing two coats of waterproof cement paint for outside area with approved quality and colour Apex paint including one coat of primer ,	sft	800.00			



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelowadi, Dharwad

			etc. complete for main house, toilet, rear & front verandah				
		32	Interior paint Providing two coats of Low VOC Emulsion paint for internal ceiling/ wall surfaces of verandah. Living, Bedroom with approved quality and colour paint including once coat of primer, putty work, etc. complete	sft	1,79 6.00		
		33	Kitchen, toilet & bath gloss paint Providing two coats of Low VOC Semi Gloss Emulsion paint for internal ceiling/ wall surfaces of Kitchen and over 7 feet dadoing in Bathroom and 5 feet dadoing in toilet and Bathroom-Toilet ceiling with approved quality and colour paint including once coat of primer, putty work, etc. complete	sft	454. 00		
	Kitchen & Puja slab	34	Kitchen & Puja Cuddapah slab Providing and fixing black cuddapah counter in kitchen and Pooja with necessary brickwork supports, edge chamfering/rounding	sft	32.0 0		
Sub total							
Services	Water supply, electrical and sanitary	35	Watersupply, electrical and sanitary services Watersupply,electrical and sanitary services including soakpit but excluding fixtures like fan, tubelight, etc	L.S.			
	Services	36	Overhead water tank Providing and fixing 4 layered White overhead tank placed on a 6 inch high brickwork pedestal plastered in CM 1:3	Lts	750		
		37	Underground sump tank Providing and constructing underground sump tank with 9 inches thick burnt brick masonry walls plastered both sides and RCC roof 5 inch thick and inspection chamber 2' x 2' provided with FRP lid, etc. complete	Lts	4,00 0		
		38	Washing platform Providing washing platform	L.S.	1		
		39	Rainwater recharge pit Rainwater harvesting with open well lined with precast cement concrete rings and covered with RCC lid	L.S.			
Subtotal							



**Terms of Reference (ToR) for completion of Partially Constructed
Homes with Sustainable and Thermally Comfortable Solutions at
Harobelawadi, Dharwad**

Interior	Kitchen & Puja storage	40	Kitchen & Puja Cuddapah storage Providing and fixing cuddapah stone in kitchen and Pooja shelving internally	sft	32		
	Shelf & Loft Storage	41	Open Cuddaph Shelf Providing and fixing open Cuddapah stone shelf 10" deep, fixed in wall with necessary supports at Living & Puja areas, including edge finishing and complete	sft	15		
		42	Shelf Cuddaph Providing and fixing cupboards with cuddapah stone shelving internally	sft	94		
	In built Seating	43	Inbuilt Seating space Providing and fixing black stone top in living room with necessary brickwork supports, edge chamfering/rounding & 20mm thick plywood frame and shutter (Partly MS jali for battery ventilation), necessary hardware and polishing, etc, complete	sft	24		
Sub total							
			GRAND TOTAL				
			ADD GST IF APPLICABLE				
		Not e					
		1	All quantities indicated are subject to remeasurement				
		2	Any change in specification has to be approved in writing by the Architect in charge				
		3	Non tendered items will be executed at cost plus 15% contractor's profit with prior approval in writing by the Architect in charge				



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelawadi, Dharwad

viii. Rendered Images for Reference

Annexure X: Renders



The attached images are visual representations of the proposed house design. These renders are for reference and may not exactly reflect the final built outcome.



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelowadi, Dharwad

4. Reporting and Supervision

The contractor/agency shall work under the supervision of the SELCO Foundation team, ensuring quality construction as per the approved scope. Daily site supervision will be conducted by an assigned site supervisor for quality checks. The contractor shall provide a weekly progress report, to be reviewed and signed by the designated person at the site.

Note:

Orientation and review sessions will be held with the SELCO Foundation team at key milestones-before implementation, mid-way, and post-completion.

5. Timelines:

- Total Duration: 2 months from the date of agreement signing.
- Start Date: Construction must begin within 10 days of signing the agreement.
- Activities include stakeholder meetings, site visits, material procurement, civil work, finishing, and final handover for 2 homes in Harobelowadi village.

6. Eligibility Criteria:

- Minimum 3 years' experience in residential construction.
- Understanding of context-appropriate, energy efficient and affordable construction techniques.
- Knowledge of basic thermal comfort strategies for homes and building construction materials for maintaining comfort strategies and energy efficiency.
- Ability to manage procurement, labor, site coordination and quality control/ timely delivery of projects.

7. Selection

The proposal will be evaluated based on the following general areas:

- Contractor will be evaluated based on prior work experience/ portfolio.
- Contractor to understand the core value and mission of the organization, SELCO Foundation.
- Contractor to have a qualified team with relevant experience.
- The financial proposal will be evaluated based on approach & work plan, prior work experience, expertise, cost, and proposed payment terms.

8. Payment Terms:

Fixed as per the agreement between the contractor and SELCO Foundation. Please provide your proposal and quotation for the above-mentioned program requirements, capturing timelines and splitting costs wherever possible.

- Please provide a break-up of the costs as an agreement quotation for the services provided on official letterhead, with signatures and stamps, wherever applicable.



Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Harobelawadi, Dharwad

- Kindly mention your name, address, contact information, along with correct bank details and signature in the agreement quotation.
- Please note that the prices quoted by the contractor are firm, final, and binding, and not subject to variation on any account.
- The quotation is inclusive of all necessary taxes and applicable costs.
- Other than the proposed amount, no additional amounts will be paid for fuel, phone charges, etc.
- Deliverables need to be submitted as per the given timeline or before the expected date.
- Deliverables need to be submitted as per the given timeline or before the expected date.
- Non-tendered items, if required, will be executed at actual cost plus 15% contractor's profit, with prior written approval from the SF team in charge.

Payment Timeline:

Stage	Payment	Description
1st	20%	Advance upon agreement signing and material mobilization
2nd	10%	Brick work upto roof
3rd	10%	Upon completion of roof & parapet
4th	20%	Upon completion of external plaster
5th	20%	Upon completion of internal plaster
6th	20%	After submission of deliverables and site completion

9. To apply

Interested contractors, with relevant experience (please include samples and/or references of the previous similar work as proof of experience) and based out of India are requested to reach out with a detailed proposal giving a brief on the methodology and the process they will uptake for this project, including design remuneration (per. Sq.ft), timelines and milestones and submit the same to google form <https://forms.gle/CZWim8jYf4WVkbRd8> on **before 31st May 2025**.

Any further queries or if you require any additional drawings or would like the AutoCAD/Excel soft copies of the attached annexures, please write to **procurement@selcofoundation.org** with a subject line: **“Implementation and Completion of Homes under “Homes for Life” Project– Harobelawadi, Dharwad District”**

10.Refer Terms and Condition:

1. Sub-contracting:

In the event that the Consultant requires the services of subcontractors to perform any obligations under the Contract, the Consultant shall obtain the prior written approval of the Foundation. Any rejection or non-performance of the subcontractor shall not, in and of itself, entitle the Consultant to claim any delays in the performance, or to assert any excuses for the



**Terms of Reference (ToR) for completion of Partially Constructed
Homes with Sustainable and Thermally Comfortable Solutions at
Harobelawadi, Dharwad**

non-performance, of any of its obligations under the Contract, and the Consultant shall be solely responsible for all services, obligations and deliverables performed by its subcontractors

2. Quality Assurance

The data submitted to Selco Foundation should be accurate, complete, reliable and relevant. Consulting agency shall establish additional layers for data cleaning and submission.

3. Financials & Reporting

TDS will be deducted on the fixed amount as per Income Tax Act and Rate of Percentage. In accordance with the Central Board of Direct Taxes circular No. 7 of 2022 dated 30th March, 2022 in relation to the clarifications with respect to Section 114AAA of the Income-tax Rules, 1962, failure to link Aadhar number to the PAN card and/or failure by any person, who falls within the income tax bracket or otherwise, to file tax returns in relation to payment of TDS for any service (in accordance with Section 206AB and 206AA) and/or an inoperative PAN card will result in a 20% tax deduction.

4. Indemnification

Both parties shall indemnify and hold its Trustees, Directors and representative officers, employees, agents harmless from and against any and all claims, demands, actions, losses, liabilities, charges, damages, costs and expenses (including but not limited to reasonable attorney's fees) arising out of or resulting from (1) any claims arising in connection with activities undertaken by both parties in connection with the project or (2) Consultant's gross negligence or willful misconduct or breach of any undertaking, covenant, representation or warranty contained in this agreement and/ or the actual infringement of any patent, trademark, copyrights, trade secret or any other intellectual property right of the third party.

5. Patent, Copyright and other Proprietary Rights

- i. Except as is otherwise expressly provided in writing in the Contract, the Foundation shall be entitled to all intellectual property and other proprietary rights including, but not limited to, patents, copyrights, and trademarks, with regard to products, processes, inventions, ideas, know-how, or documents and other materials which the Consultant has developed for the Foundation under the Contract and which bear a direct relation to or are produced or prepared or collected in consequence of, or during the course of, the performance of the Contract. The Contractor acknowledges and agrees that such products, documents and other materials constitute works made for hire for the Foundation.



**Terms of Reference (ToR) for completion of Partially Constructed
Homes with Sustainable and Thermally Comfortable Solutions at
Harobelawadi, Dharwad**

- ii. Subject to the foregoing provisions, all documents, reports, recommendations, documents, and all other data compiled by or received by the Consultant under the Contract shall be the property of the Foundation, shall be made available for use or inspection by the Foundation at reasonable times and in reasonable places, shall be treated as confidential, and shall be delivered only to the Foundation's authorized officials on completion of work under the Contract
- iii. The Consultant will treat all information given to him/her as information with proprietary value and will not disclose the same to competitors or any outsiders. The Consultant will not at any time, except under legal process, divulge any trade or business secret relating to the Foundation or any customer or agent of the Foundation, which may become known to him by virtue of his position as consultant, save in so far as such disclosure shall be necessary in the interest and for the benefit of the said Foundation and will be true and faithful to the Foundation in all dealings and transactions whatsoever relating to the said Foundation.
- iv. Reports or other data that are developed specifically for the performance of this Contract shall be the property of the Foundation and the Consultant shall deliver reports and data to the Foundation as per the milestones. Dissemination of the reports and any information from the said contracts shall be done with written approval from the Foundation.

6. Publicity, use of name & Logo of the Foundation:

The Consultant shall not advertise or otherwise make public for purposes of commercial advantage or goodwill that it has a contractual relationship with the Foundation, nor shall the Consultant, in any manner whatsoever use the name, emblem, logo or official seal of the Foundation or that of SELCO in connection with its business or otherwise without the written permission of the Foundation.

7. Observance of Law:

Compliance with Laws and Regulations: The Consultant will comply with all applicable laws, rules, regulations and statutory requirements and amendments thereof, in the manufacture and distribution of products and supplies and in providing services to the SELCO and during the term of this Agreement.

Child Labor: The Consultant will, its parent entities, partners or subcontractors nor any of its subsidiary or affiliated entities (if any) is engaged in any practice inconsistent with the rights set forth in the Child Labour (Prohibition and Regulation) Act of 1986, which, inter alia, requires that a child shall be protected from performing any work that is likely to be hazardous or to interfere with the child's education, or to be harmful to the child's health or physical, mental, spiritual, moral, or social development.



**Terms of Reference (ToR) for completion of Partially Constructed
Homes with Sustainable and Thermally Comfortable Solutions at
Harobelowadi, Dharwad**

Forced Labor: The Consultant will not engage in any activity that will result in forced or compulsory labor under applicable laws including the Bonded Labour System (Abolition) Act, 1976,

Abuse of Labor: Consultant will act in accordance with applicable laws and regulations and will not violate the rights of labourers as stated in The Factories Act, 1948 and similar legislations.

Working Hours, Overtime, Wages and Other Benefits-Working hours, wages and benefits shall be provided by the Consultant to its staff and employees in accordance with applicable laws including the Minimum Wages Act, 1948.

Declaration of blacklisting: Consultant represents and warrants to SELCO that, as on the date of signing of this Purchase Order, it is neither blacklisted/ debarred nor it is under a declaration of ineligibility by Central / State or Semi-Government Organization/Department or Institutions and Public Sector Undertakings in India and abroad. The Consultant further undertakes to duly inform SELCO in the event it is blacklisted subsequent to execution of this Purchase Order.

Compliance with Anti-bribery Laws: Consultant and each of its directors, officers, employees, agents or other (collectively referred to as "Consultant") represent and warrant that it shall not either directly or on behalf of SELCO Foundation give, offer, promise to offer, or authorize the offer, directly or indirectly (proxy bribing), anything of value (such as money, shares, goods or service, gifts or entertainment) to government officials, government customers, potential government customers or foreign government officials including officials of any public international organizations or officials of any political party either in India or abroad ("Officials") with an Intent to influence any act or decision in his or her official capacity Induce the Official to do or omit to do any act in violation of his or her lawful duty to obtain any improper advantage, or Induce to use such Official 's influence improperly to affect or influence an act or decision.



**Terms of Reference (ToR) for completion of Partially Constructed
Homes with Sustainable and Thermally Comfortable Solutions at
Harobelawadi, Dharwad**

The Consultant shall not provide any offering, promising, giving or receive, solicit or accept a financial or other advantage, or any other thing of value, with the intention of influencing or rewarding the behaviour of a person in a position of trust to perform a public, commercial or legal function to obtain or retain a commercial advantage.

The Consultant understands and acknowledges that any non-adherence to the warranty as stated herein above will be violation of the provisions of the Indian Prevention of Corruption Act, 1988 and other applicable laws and legislations ("Anti-bribery Laws").

In addition, Consultant agrees to promptly report to SELCO Foundation of any incident of breach or potential breach of this section.

Compliance with Sexual Harassment of Women (Prevention, Prohibition & Redressal) Act, 2013 (PoSH): The Consultant shall agree to adhere to the mandates prescribed under the Sexual Harassment of Women (Prevention, Prohibition & Redressal) Act, 2013, which requires all workplaces to have a Policy and Internal Committee to address complaints of sexual harassment that women may face at the workplace.

8. Termination:

Either party may terminate this contract by giving a notice in writing to the other party stating their intention to terminate the same on the expiration of Seven (7) days from the date of such notice. In addition, the Foundation may also terminate this contract forthwith in the event of any fraud, misconduct or neglect of duties on the part of the Consultant. Any notice to be given hereunder shall be sufficiently given to the Consultant if forwarded by registered post or by Courier Service to the last known postal address of the Consultant and shall be sufficiently given to the Foundation if similarly forwarded to the registered office. Upon the termination of this contract and payment of the said fees due up to such termination, and payment of all disbursements and out-of-pocket expenses incurred up to the date thereof (provided the same have been incurred after obtaining prior approval), the Consultant shall deliver all deeds, documents and paper in his possession relating to the business of the Foundation or as the Foundation shall direct, and shall continue to afford him all reasonable assistance for concluding pending matters at the date of such termination without making any charge thereof.

9. Force Majeure:

i. *Force majeure* as used herein means any unforeseeable and irresistible act of nature, any act of war (whether declared or not), invasion, revolution, insurrection, terrorism, or any other acts of a similar nature or force, *provided that* such acts arise from causes beyond the control and without the fault or negligence of the Consultant



**Terms of Reference (ToR) for completion of Partially Constructed
Homes with Sustainable and Thermally Comfortable Solutions at
Harobelowadi, Dharwad**

- ii. In the event of and as soon as possible after the occurrence of any cause constituting *force majeure*, the affected Party shall give notice and full particulars in writing to the other Party, of such occurrence or cause if the affected Party is thereby rendered unable, wholly or in part, to perform its obligations and meet its responsibilities under the Contract. The affected Party shall also notify the other Party of any other changes in condition or the occurrence of any event which interferes or threatens to interfere with its performance of the Contract. Not more than fifteen (15) days following the provision of such notice of *force majeure* or other changes in condition or occurrence, the affected Party shall also submit a statement to the other Party of estimated expenditures that will likely be incurred for the duration of the change in condition or the event of *force majeure*.
- iii. On receipt of the notice or notices required hereunder, the Party not affected by the occurrence of a cause constituting *force majeure* shall take such action as it reasonably considers to be appropriate or necessary in the circumstances, including the granting to the affected Party of a reasonable extension of time in which to perform any obligations under the Contract.
- iv. If the Consultant is rendered unable, wholly or in part, by reason of *force majeure* to perform its obligations and meet its responsibilities under the Contract, the Foundation shall have the right to suspend or terminate the Contract on the same terms and conditions as are provided for in this Contract.
- v. Both the Foundation and the Consultant fully and freely intend to create an independent Contractor relationship under this Contract. Nothing herein shall be deemed to establish a partnership, joint venture, association or employment relationship between the parties. Both parties agree that the consultant has the right to sole and exclusive control over the manner and means employed in performing their activities under this Contract.

10. Settlement of disputes:

- i. The Parties shall use their best efforts to amicably settle any dispute, controversy, or claim arising out of the Contract or the breach, termination, or invalidity thereof.

Any dispute, controversy, or claim between the Parties arising out of the Contract or the breach, termination, or invalidity thereof, unless settled amicably, within sixty (60) days after receipt by one Party of the other Party's written request for such amicable settlement, the matter shall be referred by either Party to arbitration in accordance with the Arbitration and Conciliation Act, 1996. The venue of the arbitration shall be at Bangalore. Likewise, the jurisdiction will vest with courts in Bangalore.



**Terms of Reference (ToR) for completion of Partially Constructed
Homes with Sustainable and Thermally Comfortable Solutions at
Harobelawadi, Dharwad**
