



## Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad

<b>Title</b>	Completion of partially constructed 3 homes built by end users with thermally comfortable, sustainable and affordable solutions – Timmapur Village, Dharwad, Karnataka, under the “Homes for LIFE” project
<b>Timeline</b>	02 months
<b>Expected area of expertise</b>	<ul style="list-style-type: none"><li>• Minimum 3 years' experience in residential construction.</li><li>• Understanding of context-appropriate, energy efficient and affordable construction techniques.</li><li>• Knowledge of basic thermal comfort strategies for homes and building construction materials for maintaining comfort strategies and energy efficiency.</li><li>• Ability to manage procurement, labor, site coordination and quality control/ timely delivery of projects.</li></ul>
<b>Apply Link</b>	<a href="https://forms.gle/csoT4kXoAHBuvdBe6">https://forms.gle/csoT4kXoAHBuvdBe6</a> (Contact Procurement for Form Link)

### About SELCO Foundation

SELCO Foundation's mission is to create a platform of solutions that are climate smart to bridge environmental sustainability and poverty alleviation. With holistic development as the primary focus, the organization strives to create equitable societies, where services are accessed by all communities. The interventions of SELCO lead to a sustainable delivery model of essential services like livelihoods, and health till the last mile (Read more about SELCO here: <http://www.selcofoundation.org/>)

### About Homes for LIFE project

India faces a significant housing challenge, including urban shortage of approximately 18.78 million units, inadequate infrastructure, and limited access to basic amenities. About 95% of this shortage affects economically weaker sections and low-income groups. These challenges are intensified by climate vulnerabilities, inefficient building designs, and limited access to sustainable construction materials and financing options.

To address these challenges, SELCO Foundation is committed to building sustainable, energy-efficient, thermally comfortable, and climate-resilient homes that enhance the well-being of vulnerable communities. Recognizing the intersection of housing, energy access, and climate adaptation, SELCO has facilitated the construction and upgrading of homes, embedding energy-efficient technologies and practices and effective built environment. These interventions have led to enhanced thermal comfort, energy savings, and overall improvements in health and productivity for occupants. Notable efforts include the development of guidelines for energy-integrated built environments.



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### 1. Observations

- Out of the three selected sites in Timmapur:
  - House 1- Halted just before roof
  - House 2- Halted after the lintel beam level
  - House 3- Has a metal sheet roof but no further progress like finishes
- Structural quality has been checked and found to be good.
- Key components like roofing, plastering, internal utilities and water supply are missing.
- No provision for water connection inside the houses.
- Window sizes are too small and will need expanding

### 2. Project Impact

- *Improved Housing Access:* Families will move into completed, safe homes.
- *Community Well-being:* Better housing leads to improved health, education, and social cohesion.
- *Climate Adaptation:* Thermally comfortable homes reduce heat stress and energy demand.

### 3. Scope of Work

#### a. Scope of Work: House 1 – Aswini's House

##### **Total House Area: 905 sq. ft.**

House area: 482 sq. ft. (Constructed up to just before the roof slab)

Toilet Area: 55 sq. ft. (New construction)

Front Veranda Extension: 135 sq. ft. (New construction)

Rear Veranda Extension: 234 sq. ft. (New construction)

##### i. **Current Status:**

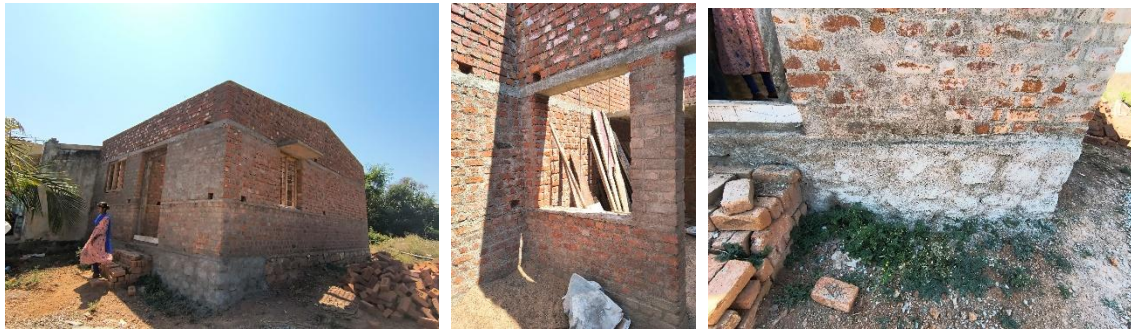
- 2' plinth completed.
- PCC flooring done; tile/finish flooring did not start.
- **Main house construction halted before Roof beam & slab; 9" outer walls (up to roof beam) and 4.5" partition walls (up to roof beam) built without plastering or finishes.**
- **Wall tops need leveling for flat roof (initially planned for pitched roof).**
- Door positions are correct
- Window and ventilator openings need partial breaking for correct placement
- Door/window frames and shutters not available on site.
- Loft constructed.
- Chajja not constructed



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- Inner shelf openings exist; some modifications needed
- **Electrical and plumbing works not started.** Panchayat lines for the same are present in front of the house.
- Soak pit and rainwater recharge pit not constructed.
- **Front & rear veranda and toilet & bath not constructed;** to be built from foundation to roof.

Annexure I: Site photos



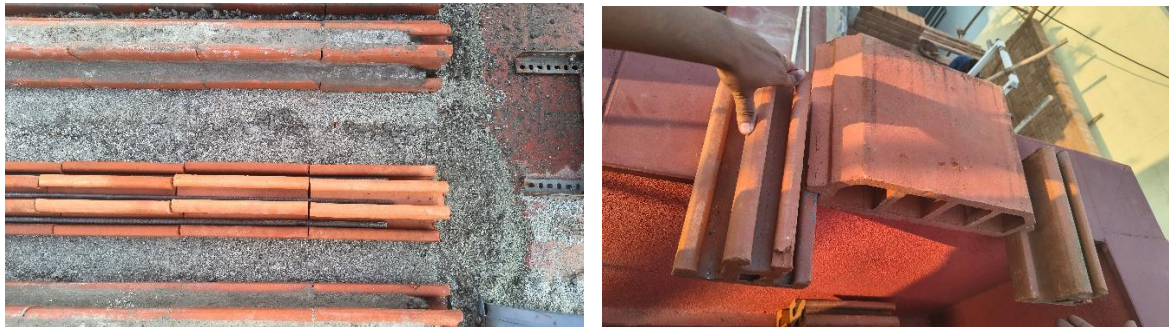
### ii. Construction Details:

- Civil, Interior & Structural Work:
  - Execute all works as per provided **architectural** (Annexure II) and **structural drawings** (Annexure III).
  - Construction of the main house will start **from roof beam casting till finishes.**
  - Includes staircase, veranda and toilet construction.
  - All civil, masonry, and finishing works (**including walls, flooring, plastering, shelves, lofts, Internal finishes, door, window, ventilator**) as per BOQ (Annexure IV).
  - Please refer to the detailed BOQ (Annexure IV) for a comprehensive understanding of the scope, materials, and specifications required for the complete execution of the project.
- Roofing:
  - Flat roof to be completed using **hurdi blocks supplied by SELCO Foundation.**
  - **No shuttering** or stirrups required for roof slab; mortar to be used as per BOQ.
  - Contractor to procure and use all additional materials for slab casting.



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*Hurdi block slab casting reference image*



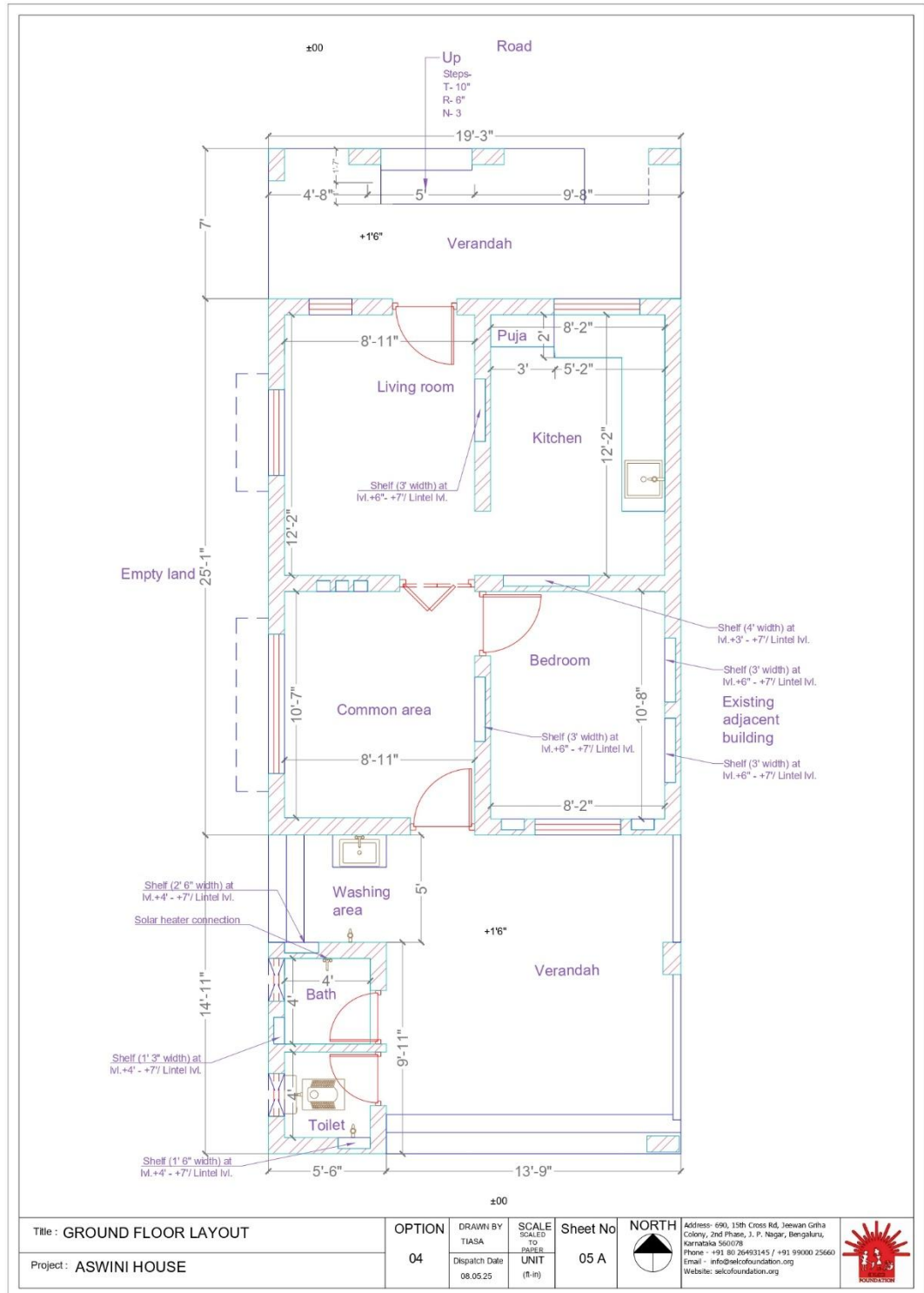
- Facade:
  - The painting and design for the front facade will be completed as per the approved design provided by SELCO.
  
- iii. **Electrical Scope:**
  - All internal wiring for **AC and DC loads** must be concealed within the walls using conduits.
  - Contractor to supply and install:
    - Switchboards, sockets, main switch, panel board, holders, and all internal wiring.
  - **Electrical fixtures such as lights, fans, and fittings will be procured by SELCO Foundation but must be installed by the contractor.**
  - Coordination required with SELCO's solar vendor during solar system integration.
  - Solar wiring is out of contractor's scope, but support during installation is expected.
  - Drawings will be provided; for on grid system wiring tech team will guide on site.
  
- iv. **Plumbing Scope:**
  - Contractor to implement entire plumbing network as per BOQ and drawings.
  - This includes: Water lines, downpipes from roof, drainage, internal/external pipework and fixtures like drain jali etc.
  - Plumbing fixtures such as taps, showers, etc. will be procured by SELCO Foundation, but installation must be done by the contractor.
  
- v. **General Requirements:**
  - Contractor is responsible for all labor and on-site execution.
  - Must follow all BOQ (Annexure IV) specifications and approved drawings.
  - Daily site quality supervision will be conducted by the designated site supervisor.
  - Contractor to provide daily progress reports along with site photos, signed by the assigned SELCO Foundation representative.
  - Any change in design, material, or specification must receive prior written approval from the designated SF team in charge.



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vi. **Layout**

**Annexure II-A: Ground Floor Layout**

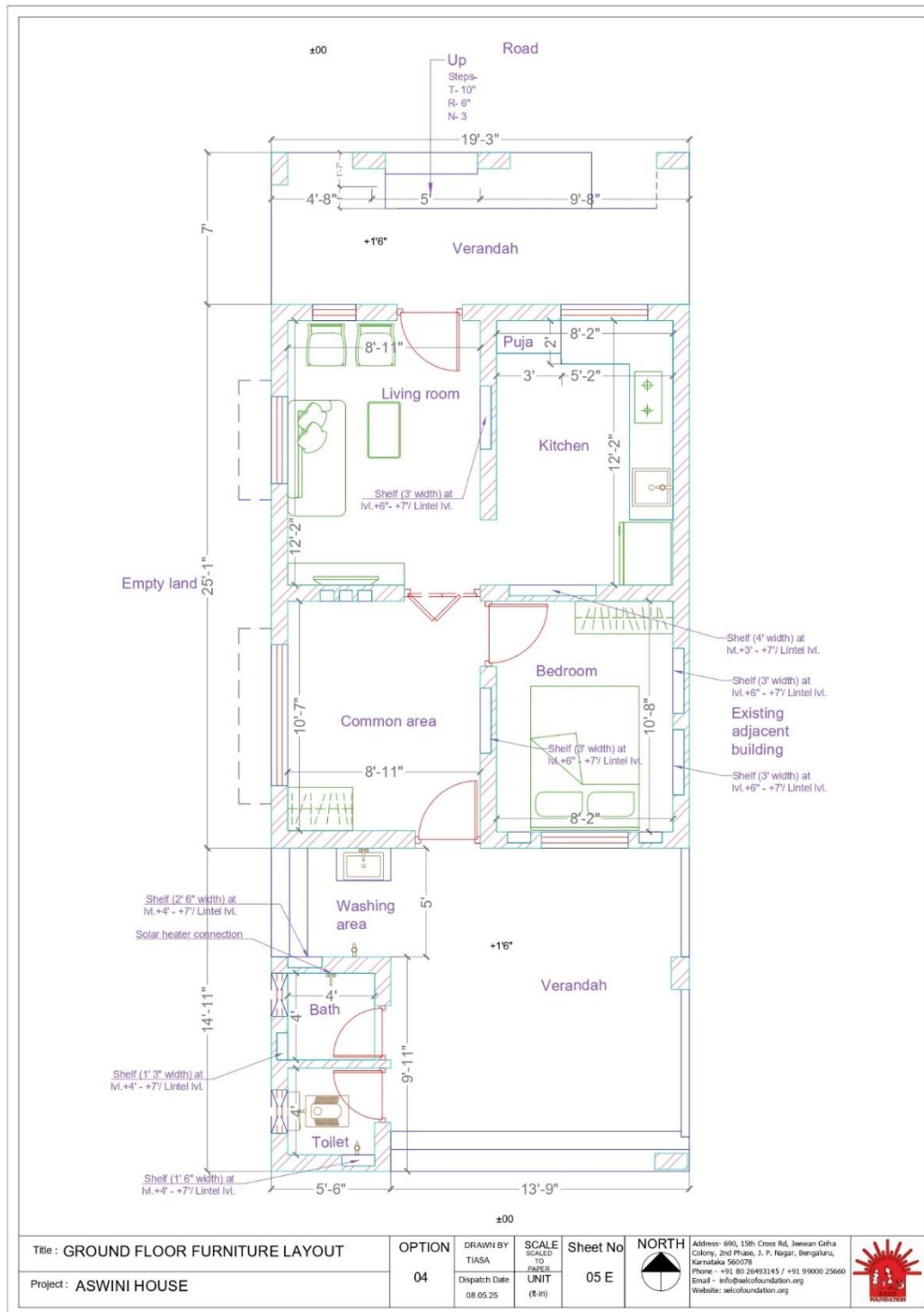






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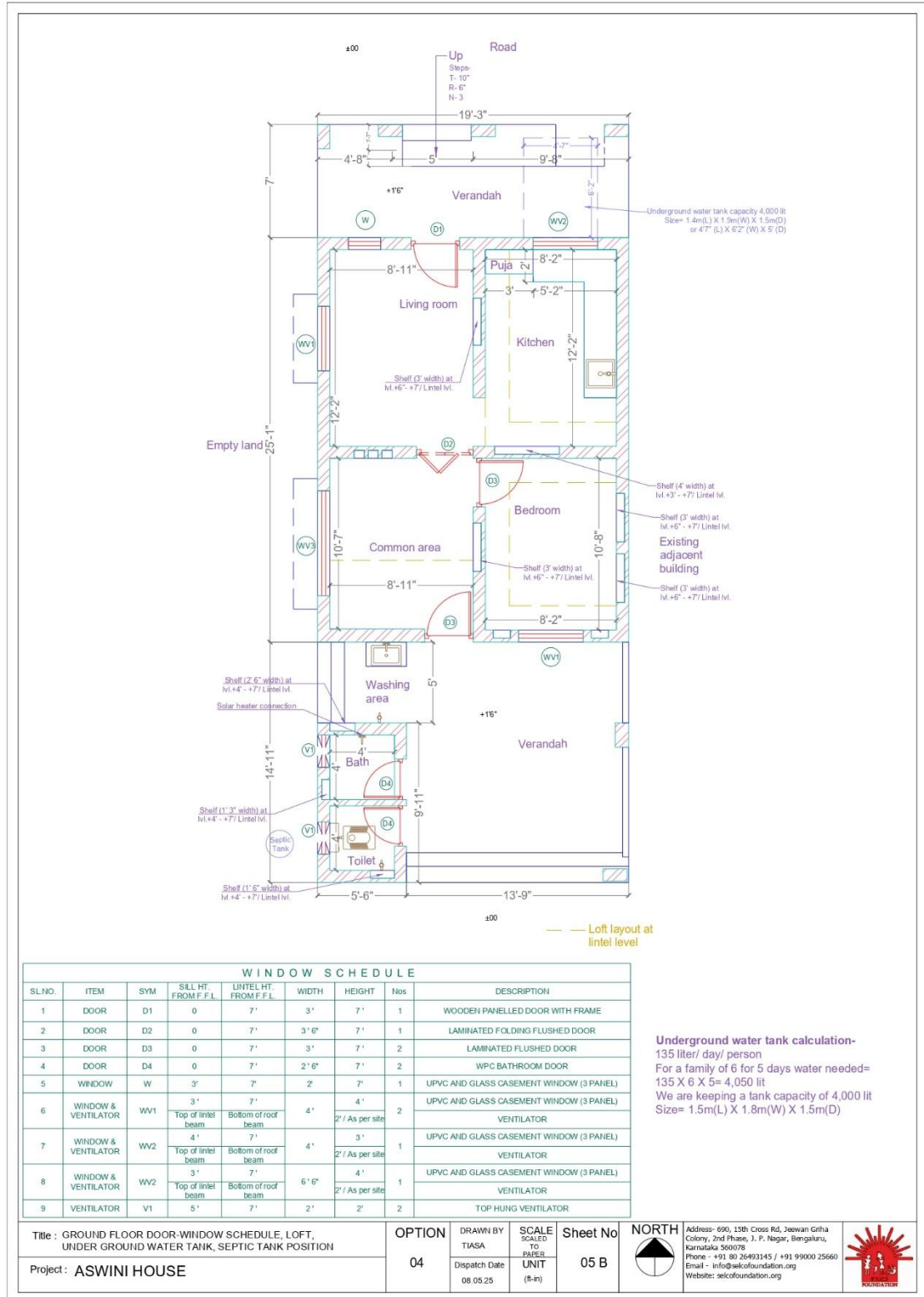
## Annexure II-B: Ground Floor Furniture Layout

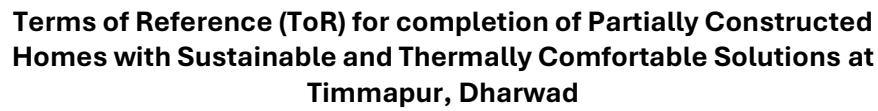




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## Annexure II-C: Ground Floor DW Schedule & Loft position





**ELECTRICAL SCHEDULE**

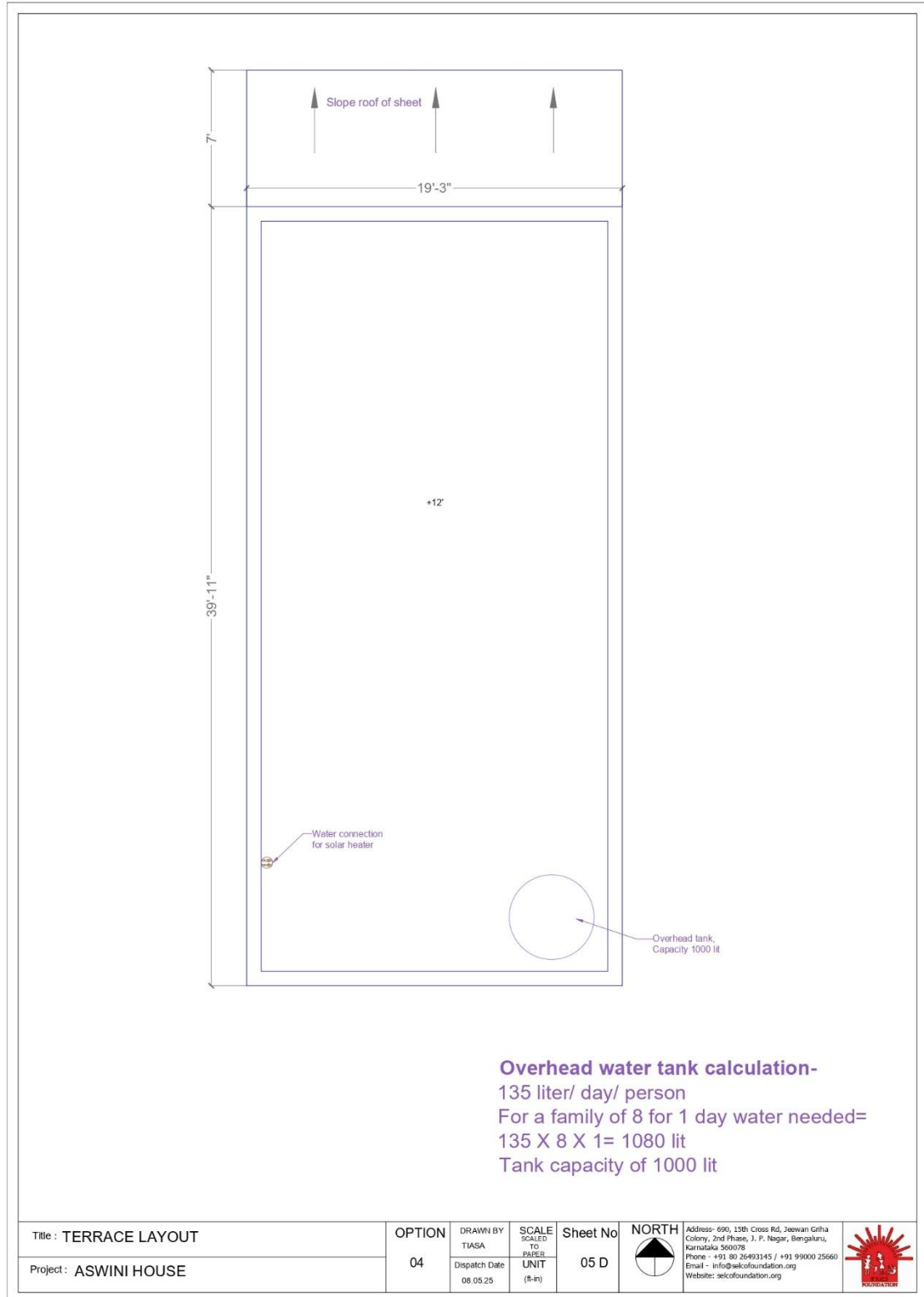
SN	SYMBOL	DESCRIPTION	SOFFIT LEVEL
01.	[Symbol]	Distribution fuse board without switches	7' from F.F.L.VL.
02.	[Symbol]	Main switch board with 5A plug	4' from F.F.L.VL.
03.	[Symbol]	Combined switch and socket-outlet, 16A	3' from F.F.L.VL.
04.	[Symbol]	Combined switch and socket-outlet, 6A	3' from F.F.L.VL.
05.	[Symbol]	Calling bell	7' from F.F.L.VL.
06.	[Symbol]	Exhaust fan	6' from F.F.L.VL.
07.	[Symbol]	Ceiling fan	Ceiling LVL.
08.	[Symbol]	Television receiving set	3' from F.F.L.VL.
09.	[Symbol]	Lamp mounted on a wall	8' from F.F.L.VL.
10.	[Symbol]	Bracket fan	7' from F.F.L.VL.
11.	[Symbol]	Calling bell	8' from F.F.L.VL.

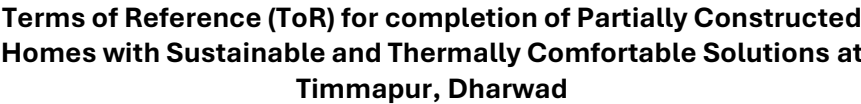




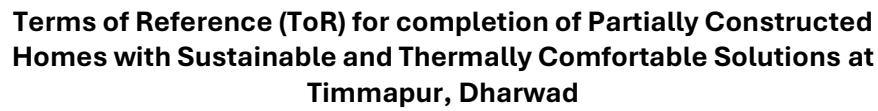
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## **Annexure II-E: Ground Floor Terrace**





<div data-bbox="344 456 857 1832"> </div> <div data-bbox="978 1016 1005 1240"> <p>TYPICAL SECTION</p> </div>	<table border="1"> <tr> <td data-bbox="1228 434 1331 1285"> <p><b>Title :</b> TYPICAL SECTION</p> <p><b>Project :</b> ASWINI HOUSE</p> </td> <td data-bbox="1228 1285 1331 1883"> <p><b>OPTION</b> 04</p> </td> </tr> <tr> <td data-bbox="1228 1016 1272 1285"> <p><b>DRAWN BY</b> TIASA</p> <p><b>SCALE</b> SCALED TO PAPER</p> <p><b>DISPATCH DATE</b> 08.05.25</p> </td> <td data-bbox="1228 913 1272 1016"> <p><b>SHEET No</b> 05F</p> </td> </tr> <tr> <td data-bbox="1228 808 1272 913"> <p><b>NORTH</b></p> </td> <td data-bbox="1228 434 1331 808"> <p><b>Address:</b> 690, 15th Cross Rd., Jeewan Griha Colony, 2nd Phase, J. P. Nagar, Bengaluru, Karnataka 560078  <b>Phone -</b> +91 80 26493145 / +91 99000 25660  <b>Email -</b> info@secofoundation.org  <b>Website:</b> secofoundation.org</p> </td> </tr> </table>	<p><b>Title :</b> TYPICAL SECTION</p> <p><b>Project :</b> ASWINI HOUSE</p>	<p><b>OPTION</b> 04</p>	<p><b>DRAWN BY</b> TIASA</p> <p><b>SCALE</b> SCALED TO PAPER</p> <p><b>DISPATCH DATE</b> 08.05.25</p>	<p><b>SHEET No</b> 05F</p>	<p><b>NORTH</b></p>	<p><b>Address:</b> 690, 15th Cross Rd., Jeewan Griha Colony, 2nd Phase, J. P. Nagar, Bengaluru, Karnataka 560078  <b>Phone -</b> +91 80 26493145 / +91 99000 25660  <b>Email -</b> info@secofoundation.org  <b>Website:</b> secofoundation.org</p>
<p><b>Title :</b> TYPICAL SECTION</p> <p><b>Project :</b> ASWINI HOUSE</p>	<p><b>OPTION</b> 04</p>						
<p><b>DRAWN BY</b> TIASA</p> <p><b>SCALE</b> SCALED TO PAPER</p> <p><b>DISPATCH DATE</b> 08.05.25</p>	<p><b>SHEET No</b> 05F</p>						
<p><b>NORTH</b></p>	<p><b>Address:</b> 690, 15th Cross Rd., Jeewan Griha Colony, 2nd Phase, J. P. Nagar, Bengaluru, Karnataka 560078  <b>Phone -</b> +91 80 26493145 / +91 99000 25660  <b>Email -</b> info@secofoundation.org  <b>Website:</b> secofoundation.org</p>						



**GENERAL NOTES:-**

1. DO NOT SCALE THIS DRAWING
2. FOLLOW FIGURED DIMENSIONS
3. SLAB THICKNESS AS INDICATED
4. READ THIS DRAWING ALONG WITH RELAVANT ARCHITECTURAL DWG

**SHUTTERING LAYOUT REAR VERANDAH**

**ROOF SLAB DETAILS**

**GENERAL NOTES:-**

1. DO NOT SCALE THIS DRAWING
2. FOLLOW FIGURED DIMENSIONS
3. SLAB THICKNESS AS INDICATED
4. READ THIS DRAWING ALONG WITH RELAVANT ARCHITECTURAL DWG

**PROJECT:-**  
**PROPOSED RESIDENCE AT**  
**TIMMAPUR, DHARWAD**

(P-3029) DATE:12-05-2025 SCALE: NTS

**CLIENT:-**  
**Mrs. ASHWINI**

**NORTH**

**SELCO FOUNDATION**



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vii. **BOQ**

Annexure IV: BOQ

<b>ESTIMATE FOR PROPOSED RESIDENCE FOR Mrs.Ashwini at Thimmapur village</b>						
	Total area		Sqft	915.00		
	Toilet & Bath Area		Sqft	55.00		
	House Area		Sqft	482.00		
	Rear verandah		Sqft	244.00		
	Front verandah		Sqft	134.00		
	<b>Sl.No</b>	<b>Particulars</b>	<b>Unit</b>	<b>Qty</b>	<b>Rate</b>	<b>Amount</b>
<b>Plinth</b>	1	<b>Foundation earth excavation</b> Earth work excavation for foundation including lead, lift etc. complete	cft	960.00		
	2	Anti Termite treatment		Lumpsum		
	3	<b>PCC</b> Providing and laying cement concrete 1:4:8 for foundations and floor bed using 40mm size jelly including tamping, curing etc. complete	cft	414.00		
	4	<b>Stone masonry</b> Providing size stone masonry for foundation and basement in CM 1:8 in courses of 20 cms high and bond stones 2 mtrs apart in each course including stones hammer dressed, curing, etc., complete	cft	700.00		
	5	<b>Earth filling</b> Earth filling to the basement with suitable soil including lead, watering, etc. complete.	cft	500.00		
<b>Brick</b>	6	<b>Brick</b> Providing and constructing 9 inch thick burnt brick walls for new washing area/verandah and parapet wall of terrace and over toilet upto 3'0"(Excluding the cost till 9") height with cement mortar (1:6) with	cft	725.00		



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		necessary scaffolding, curing, etc complete				
	7	<b>Brick</b> Providing and constructing 4 inch wide partition walls in burnt brick masonry with cement mortar (1:4) with necessary scaffolding,curing,etc complete	sft	165.00		
<b>RCC</b>	8	<b>RCC Plinth beam</b> Providing and laying M 20 grade cement concrete for plinth beam of size 9' x 12" including tamping curing etc. complete.	cft	60.00		
	9	<b>RCC Chajja</b> Providing and laying M 20 grade cement concrete for RCC Chajja (4" depth) as per design including, tamping, curing, etc. complete	sft	21.00		
	10	<b>RCC lintel</b> Providing and laying M 20 grade cement concrete for RCC lintel as per design including, tamping, curing, etc. complete	cft	45.00		
	11	<b>RCC loft</b> Providing and laying M 20 grade cement concrete for RCC loft as per design including plastering with CM 1:3 curing, etc. complete	sft	125.00		
	12	<b>Roof beams</b> Providing and laying cement concrete M 20 for RCC roof beams using 20mm and downsize size granite jelly including centering, machine mixing, lifting, laying, tamping, curing etc. complete	cft	As per design		
	13	<b>RCC sills</b> Providing and laying cement concrete	cft	25.00		





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		for 3 inch thick RCC sills below window openings using clean granite or trap jelly, 20mm and down size with steel or plywood or plank centering and shuttering form work including machine mixing, laying vibrating and finishing nicely with CM (1:3) including curing etc., complete				
<b>Roof with Hurdi</b>	14	<b>Roof Construction with Hurdi Blocks</b> Hurdi blocks- Providing and constructing roof with Hurdi clay blocks and channels, beams precast and reinforced as mentioned in structural drawing ,lifted after minimum 7 days of curing with casurina poles support (minimum 3 per beam), placing of roof blocks, providing temperature reinforcement of 8mm dia both ways and laying M 20 grade concrete 2 inch thick over hurdi blocks after filling in the valley. (Only Hurdi Blocks will be provided by SF. Provision of the rest of the materials is contractors scope of work)	sft	787.00		
<b>Steel</b>	15	<b>Steel</b> Providing MS/Tor steel-Fe 550 TMT reinforcement for all Hurdi block & RCC works including bending, binding, keeping in position etc. complete (Hurdi roof and RCC lintel, chajja, loft)	Kgs	As per design		
<b>Front verandah shade</b>	16	<b>MS frame for Front verandah</b> Providing M.S.frame with 2 coats of enamel paint over one coat of primer and 0.5 mm thick roof sheets of approved colour for front verandah,including fixing, gutter. rain water drain pipe etc complete	sft	150.00		
<b>Door</b>	17	<b>Main door</b> Providing and fixing wooden shutter for main door , type D1 with 32mm thick panelled door including all	nos	1.00		



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		fittings, 2 coats enamel painting over one coat of primer,putty, etc. complete (1nos)				
	18	<b>Foldable/sliding flush door</b> Providing and fixing foldable/sliding flush door shutters with 25mm thick flush door finished with laminate including all fittings, complete	nos	1.00		
	19	<b>Bed room &amp; Rear verandah door</b> Providing and fixing flush door shutters with 25mm thick flush door finished with laminate including all fittings, complete	nos	2.00		
	20	<b>Bathroom door</b> Providing and fixing doors, WPC frames and door including all fittings, etc. complete. Bath & toilet door	nos	2.00		
<b>Widow &amp; ventilator</b>	21	<b>Window &amp; Ventilator</b> Providing and fixing windows /ventilators with UPVC glazed casement windows, fittings, etc. complete. Inside to be provided with openable mosquito mesh with frame	sft	113.00		
	22	<b>Window &amp; Ventilator grill</b> <b>Providing and fixing windows /ventilators with grills, fittings, etc. complete.</b>	sft	113.00		
<b>Plaster</b>	23	<b>Plastering interior</b> Providing 20 mm thick plastering to burnt brick masonry in CM 1:6 inside with lime rendering including providing and removing scaffolding,rounding of all corners wherever required , curing etc. complete	sft	2,500.00		
	24	<b>Plastering exterior</b> Providing 20mm thick plastering to brick masonry in CM 1:6 outside with sponge finishing including providing and removing scaffolding, curing etc.	sft	1,050.00		



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		complete for main house, toilets, front & rear verandah				
<b>Cement Flooring</b>	25	<b>Cement flooring</b> Providing and laying cement flooring for Living, Bed Room, Kitchen, including curing, etc complete	sft	300.00		
	26	<b>Cement Skirting</b> Providing and laying cement skirting 4" for Living, Bed Room, Kitchen, including curing, etc complete	rft	120.00		
<b>Cuddapah Flooring</b>	27	<b>Cuddapah flooring</b> Providing and laying cuddapah flooring in C M 1:4 for Verandah and Entrance steps including curing, etc complete	sft	450.00		
	28	<b>Cuddapah skirting</b> Providing and laying cuddapah skirting in C M 1:4 for Front and rear Verandah and steps including curing, etc complete	rft	120.00		
<b>Tile</b>	29	<b>Toilet &amp; Bath floor tile</b> Providing and laying Anti skid flooring using ceramic/vitrified tiles of size 1.20 m x 0.60 m or 0.60 x 0.60 m in C M 1:4 for Bathroom and Toilet including grouting the joints, acid wash, curing, etc complete	sft	32.00		
	30	<b>Tile skirting</b> Providing and laying Anti skid skirting using ceramic/vitrified tiles of size 1.20 m x 0.60 m or 0.60 x 0.60 m in C M 1:4 for Kitchen including grouting the joints, acid wash, curing, etc complete	rft	32.00		
	31	<b>Kitchen splash back, Wash area, Wash Basin &amp; Toilet Wall Tile</b> Providing and laying glazed heat and oil resistant tiles in 2 feet high Splash back for kitchen counter, wash basin & wash area, 7 feet height for bathroom in 1:4 C.M. of approved	sft	215.00		



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		make and size fully finished including acid wash etc				
<b>Paint</b>	32	<b>Exterior paint</b> Providing two coats of waterproof cement paint for outside area with approved quality and colour Apex paint including one coat of primer, etc. complete for main house, toilets, front & rear verandah	sft	1,050.00		
	33	<b>Interior paint</b> Providing two coats of Low VOC Emulsion paint for internal ceiling/ wall surfaces of verandah. Living, Bedroom with approved quality and colour paint including once coat of primer, putty work, etc. complete	sft	1,900.00		
	34	<b>Kitchen &amp; toilet gloss paint</b> Providing two coats of Low VOC Semi Gloss Emulsion paint for internal ceiling/ wall surfaces of Kitchen & Pooja area and over dadoing in Bathroom and Bathroom ceiling with approved quality and colour paint including once coat of primer, putty work, etc. complete	sft	600.00		
<b>Kitchen &amp; Puja slab</b>	35	<b>Kitchen &amp; puja cadappa slab</b> Providing and fixing black cuddapah counter with sink in kitchen and Pooja with necessary brickwork supports, edge chamfering/rounding	sft	45.00		
<b>Water supply, electrical and sanitary</b>	36	<b>Watersupply, electrical and sanitary services</b> Watersupply, electrical and sanitary services including soakpit but excluding fixtures like fan, tubelight, etc	L.S.			
<b>Sub total</b>						
<b>Services</b>	37	<b>Overhead water tank</b> Providing and fixing 4 layered White Sintex/Prince/Supreme/Ashirwad/Hi tank brand overhead tank placed on a	Lts	1,000.00		



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		6 inch high brickwork pedestal plastered in CM 1:3				
	38	<b>Underground sump tank</b> Providing and constructing underground sump tank with 9 inches thick burnt brick masonry walls plastered both sides and RCC roof 5 inch thick and inspection chamber 2' x 2' provided with FRP lid, etc. complete	Lts	4,000.00		
	39	<b>Washing platform</b> Providing washing platform	L.S.	1.00		
	40	<b>Rainwater recharge pit</b> Rainwater harvesting with open well lined with precast cement concrete rings and covered with RCC lid	L.S.			
<b>Sub total</b>						
<b>Interior</b>	41	<b>Kitchen &amp; Puja Cuddapah storage</b> Providing and fixing cuddapah stone in kitchen and Pooja shelving internally	sft	45		
	42	<b>Open Cuddaph Shelf</b> Providing and fixing open Cuddapah stone shelf 10" deep, fixed in wall with necessary supports at Bed room, Living & Puja areas, including edge finishing and complete	sft	30		
	43	<b>Shelf Cuddaph</b> Providing and fixing cupboards with cuddapah stone shelving internally	sft	100		
	44	<b>Inbuilt Seating space</b> Providing and fixing black stone top in living room with necessary brickwork supports, edge chamfering/rounding & 20mm thick plywood frame and shutter (Partly MS jali for battery ventilation), necessary hardware and polishing, painting etc, complete	sft	24		
<b>Sub total</b>						
		<b>GRAND TOTAL</b>				





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		ADD GST				
	Note					
	1	All quantities indicated are subject to remeasurement				
	2	Any change in specification has to be approved in writing by the Architect in charge				
	3	Non tendered items will be executed at cost plus 15% contractor's profit with prior approval in writing by the Architect in charge				

**viii. Rendered Images for Reference**

**Annexure V: Renders**



*The attached images are visual representations of the proposed house design. These renders are for reference and may not exactly reflect the final built outcome.*



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**b. Scope of Work: House 2 – Sangeeta's House**

**Built-up Area:**

**Total House Area: 588 sq. ft.**

House area: 447 sq. ft. (Constructed up to lintel)

Toilet Area: 35 sq. ft. (New construction)

Front Veranda Extension with Staircase: 106 sq. ft. (New construction)

**i. Current Status:**

- 2' plinth completed.
- PCC flooring done; tile/finish flooring not started.
- **Construction halted till lintel beam; 9" outer walls and 4.5" partition walls (up to lintel beam, 7' height) built without plastering or finishes.**
- Door positions are correct
- Window and ventilator openings need partial breaking for correct placement
- Door/window frames and shutters not available on site.
- Loft constructed
- Chajja not constructed
- Inner shelf openings exist; some modifications needed
- **Electrical and plumbing works not started.** Panchayat lines for the same are present in front of the house.
- Soak pit and rainwater recharge pit not constructed.
- **Front veranda, staircase to roof and toilet not constructed;** to be built from foundation to roof.

Annexure VI: Site photos



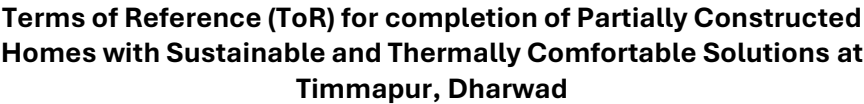
**ii. Construction Details:**

- Civil, Interior & Structural Work:
- Execute all works as per provided **architectural** (Annexure VII) and **structural drawings** (Annexure VIII).
- Lintel beam is already constructed; construction of the main house will resume from lintel **level up to final finishes.**

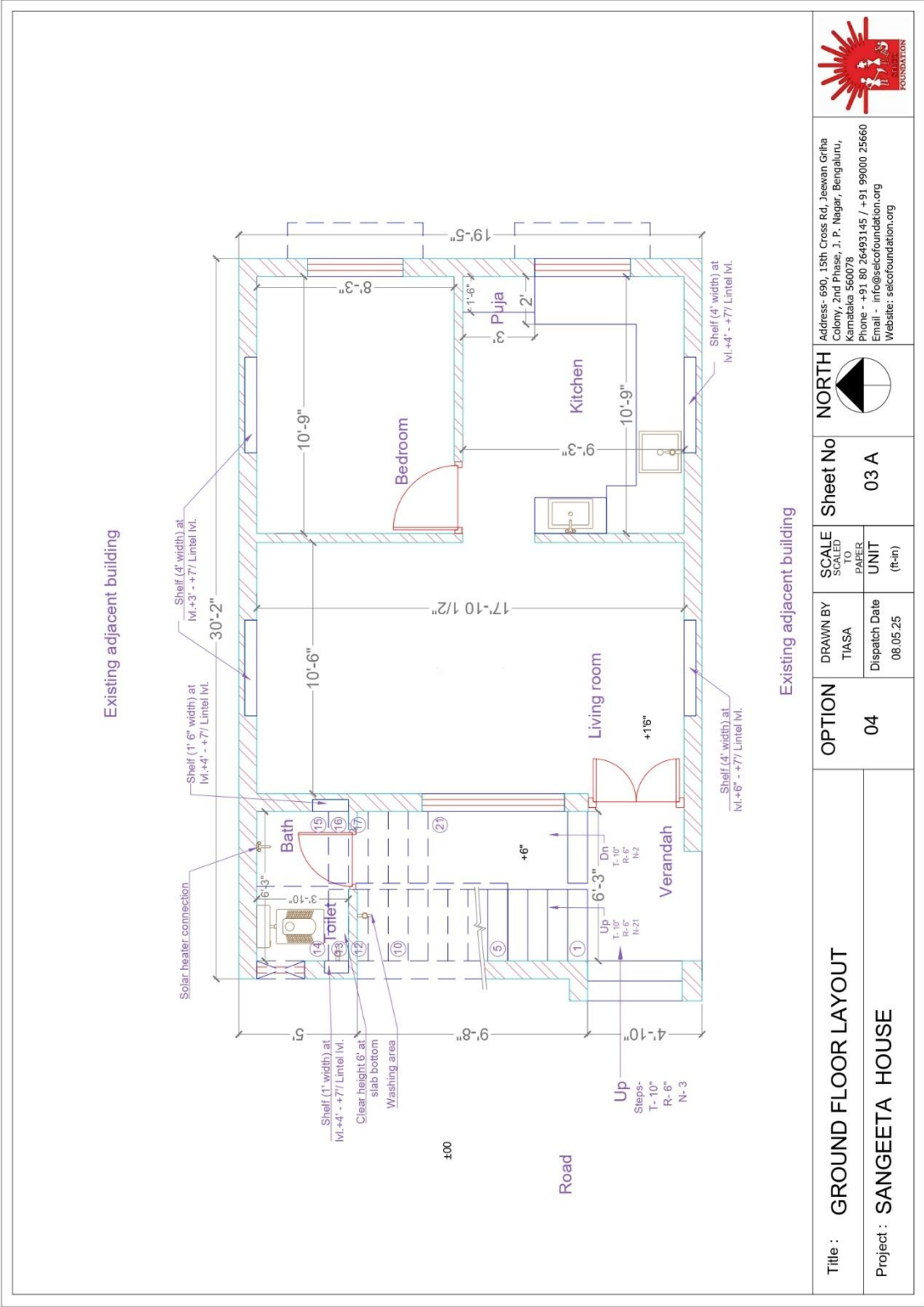


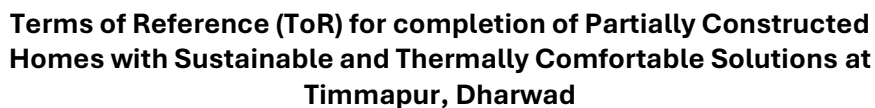
**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

- Includes **front veranda, staircase and toilet construction from foundation till finishes.**
- All civil, masonry, and finishing works (**including walls, flooring, plastering, shelves, lofts, Internal finishes, door, window, ventilator**) as per BOQ (Annexure IX).
- Please refer to the detailed BOQ (Annexure IX) for a comprehensive understanding of the scope, materials, and specifications required for the complete execution of the project.
- Roofing:
  - **RCC slab roofing** to be constructed above lintel beam level as per architectural (Annexure VII) & structural drawings (Annexure VIII).
  - Roof to be finished with **heat-resilient tiles** to enhance thermal comfort.
  - Contractor to procure all necessary materials and carry out all labor as per BOQ (Annexure IX).
- Facade:
  - The painting and design for the **front facade** will be completed per the approved design provided by SELCO Foundation.
- iii. **Electrical Scope:**
  - All internal wiring for **AC and DC loads** must be concealed within the walls using conduits.
  - Contractor to supply and install:
    - Switchboards, sockets, main switch, panel board, holders, and all internal wiring.
  - **Electrical fixtures such as lights, fans, and fittings will be procured by SELCO Foundation but must be installed by the contractor.**
  - Coordination required with SF's solar vendor during solar system integration.
  - Solar wiring is out of contractor's scope, but support during installation is expected.
  - Drawings will be provided; for on grid system wiring tech team will guide on site.
- iv. **Plumbing Scope:**
  - Contractor to implement entire plumbing network as per BOQ and drawings.
  - **This includes: Water lines, downpipes from roof, drainage, internal/external pipework and fixtures like drain jali etc.**
  - Plumbing fixtures such as taps, showers, etc. will be procured by SELCO Foundation, but installation must be done by the contractor.
- v. **General Requirements:**
  - Contractor responsible for all labor and on-site execution.
  - Must follow all BOQ specifications and approved drawings.
  - Daily site quality supervision will be conducted by the designated site supervisor.
  - Contractor to provide daily progress reports along with site photos, signed by the assigned SELCO Foundation representative.
  - Any change in design, material, or specification must receive prior written approval from the designated SF team in charge.

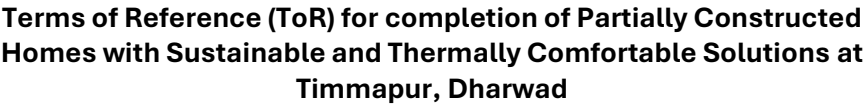


## Annexure VII-A: Ground Floor Layout



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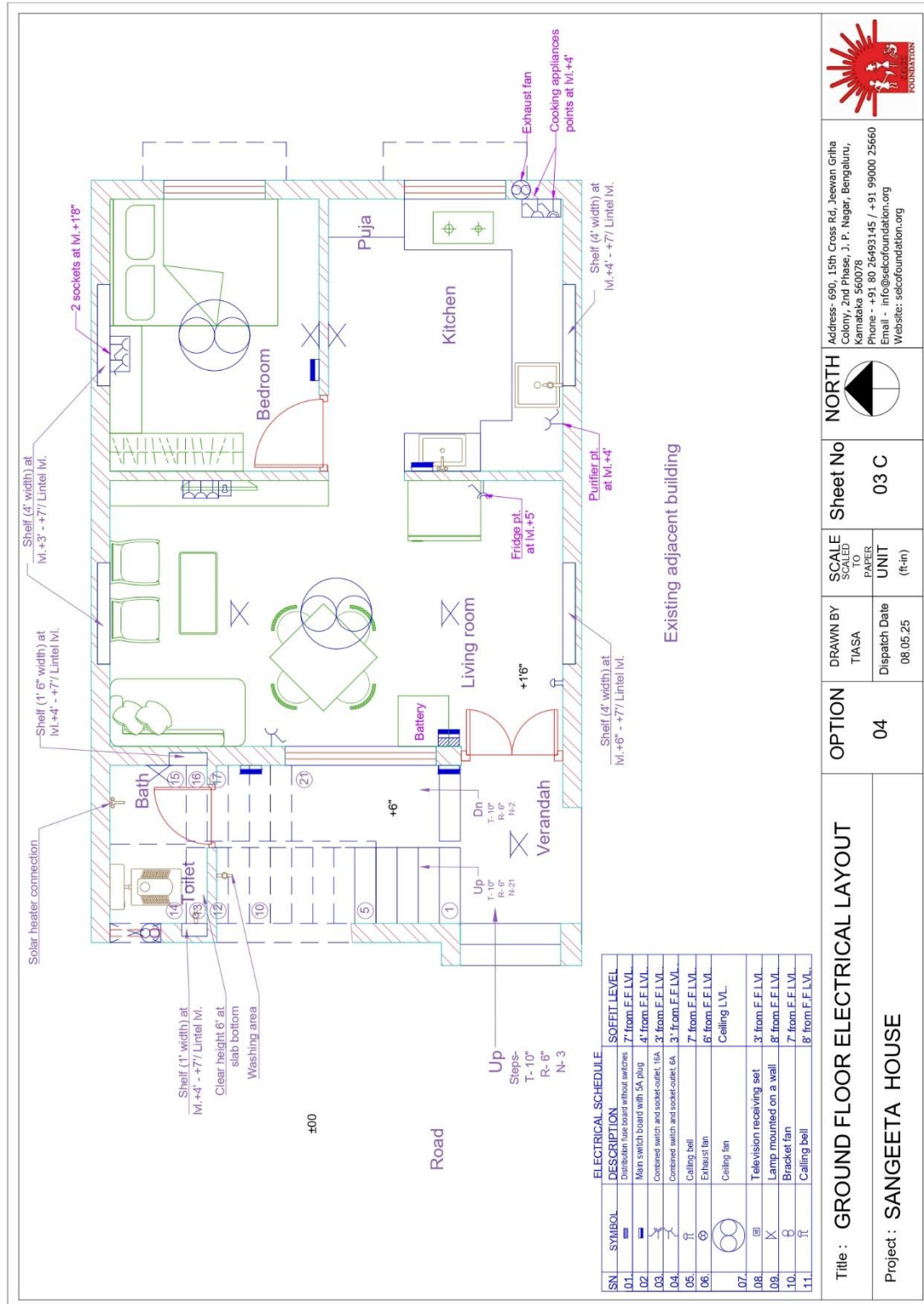
**Window Schedule Table:**

SL. NO.	ITEM	SYM	SUBJ. FROM F.F.L.	UNHEAT. FROM F.F.L.	WIDTH	HEIGHT	DESCRIPTION	No.
1	DOOR	D1	0	7'	4'	7'	WOODEN PANELED DOOR WITH FRAME	1
2	DOOR	D2	0	7'	3'	7'	LAMINATED FLUSHED DOOR	1
3	DOOR	D3	0	7'	2' 6"	7'	PVC BATHROOM DOOR	1
4	WINDOW & VENTILATOR	WV1	3"	Top of mised beam	6'	4'	UPVC AND GLASS SLIDING WINDOW (4 PANEL) VENTILATOR	1
5	WINDOW & VENTILATOR	WV2	3"	Top of mised beam	4'	4'	UPVC AND GLASS CASEMENT WINDOW (3 PANEL) VENTILATOR	1
6	WINDOW & VENTILATOR	WV3	4"	Top of mised beam	4'	3'	UPVC AND GLASS CASEMENT WINDOW (3 PANEL) VENTILATOR	1
7	VENTILATOR	V1	5"	7'	2'	2'	TOP HUNG VENTILATOR	1



# Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad

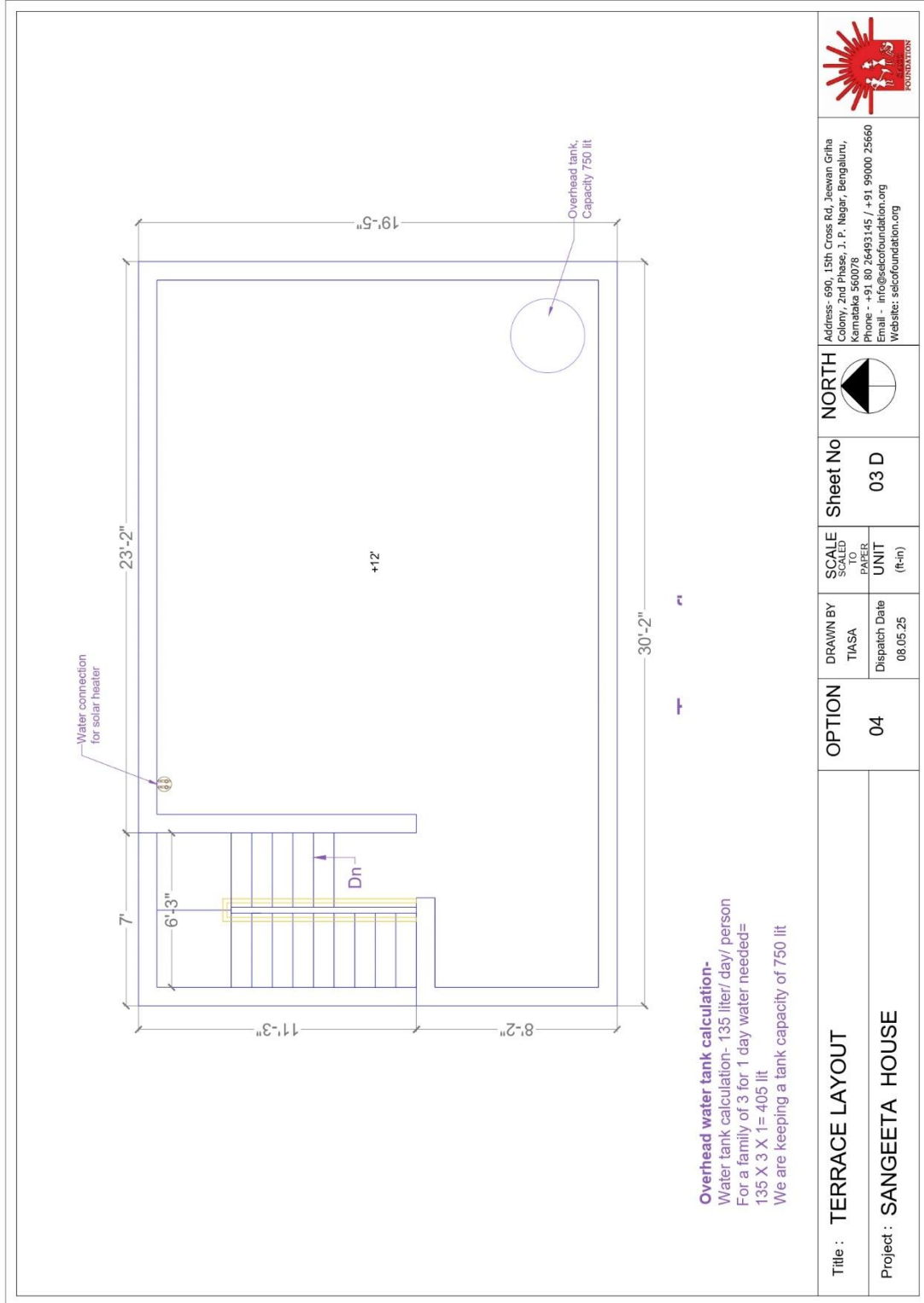
## Annexure VII-D: Ground Floor Electrical Layout





# **Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

## **Annexure VII-E: Ground Floor Terrace**



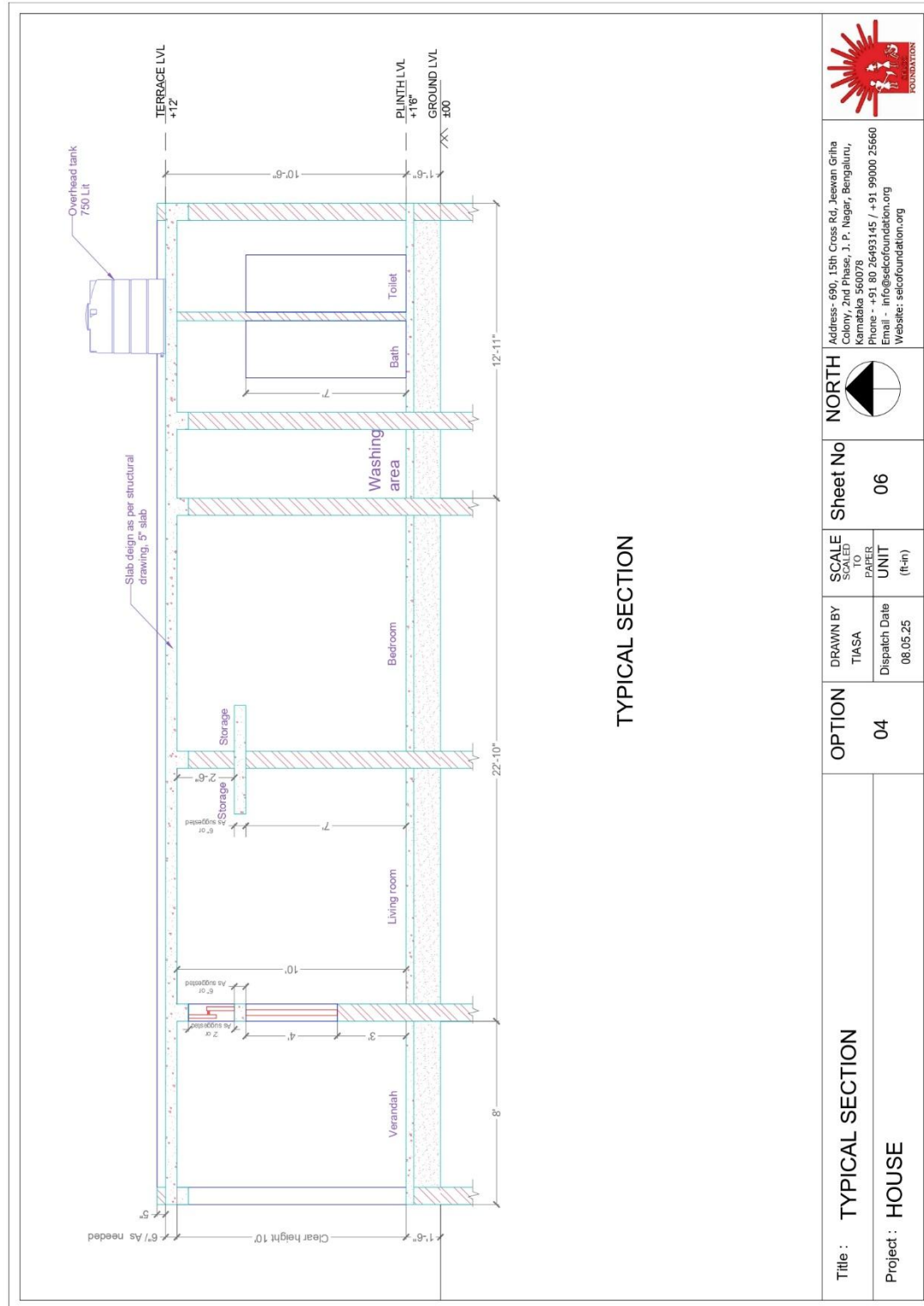
Title : TERRACE LAYOUT

Project : SANGEETA HOUSE



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

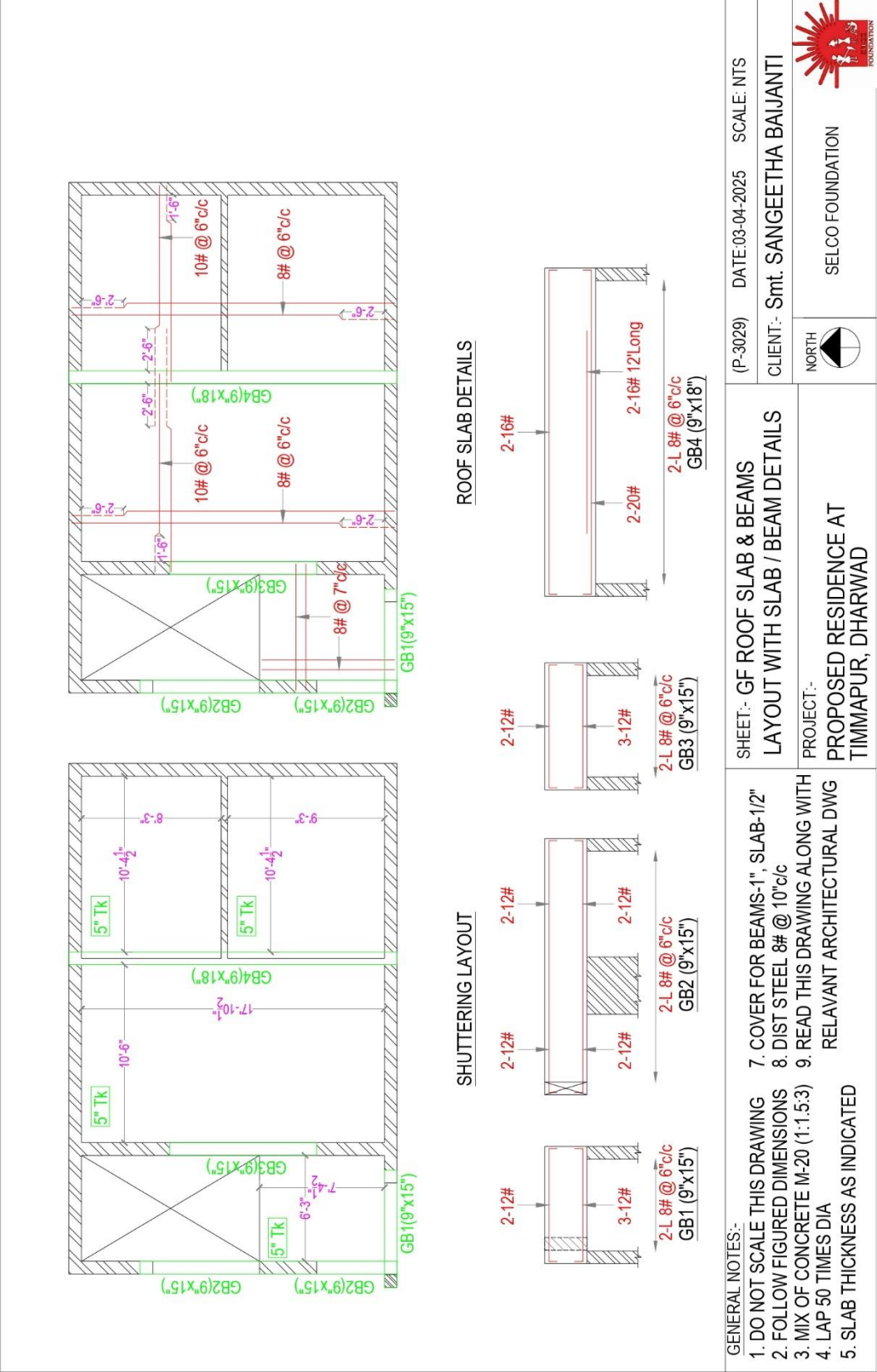
**Annexure VII-F: Section**





Terms of Reference (ToR) for completion of Partially Constructed  
Homes with Sustainable and Thermally Comfortable Solutions at  
Timmapur, Dharwad

Annexure VIII: Structural Drawing







**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

vii. **BOQ**

Annexure IX: BOQ

Total sqft	588	BOQ FOR PROPOSED RESIDENCE FOR Mrs. Sangeeta					
		Sl.No	Particulars	Unit	Qty	Rate	Amount
<b>Verandah &amp; Staircase 106 sqft</b>	<b>Plinth</b>	1	<b>Foundation earth excavation</b> Earth work excavation for foundation including lead, lift etc. complete	cft	200		
		3	<b>PCC</b> Providing and laying cement concrete 1:4:8 for foundations and floor bed using 40mm size jelly including tamping, curing etc. complete	cft	65		
		4	<b>Stone masonry</b> Providing size stone masonry for foundation and basement in CM 1:8 in courses of 20 cms high and bond stones 2 mtrs apart in each course including stones hammer dressed, curing, etc., complete	cft	200		
		5	<b>RCC Plinth beam</b> Providing and laying M 20 grade cement concrete for plinth beam of size 9' x 12" including tamping curing etc. complete.	cft	13		
		6	<b>Earth filling</b> Earth filling to the basement with suitable soil including lead, watering, etc. complete.	cft	100		
		7	<b>Brick</b> Providing and constructing 9 inch thick burnt brick walls for new washing area/verandah and parapet wall of terrace and over toilet upto 3'0"(Excluding the cost till 9") height with cement mortar (1:6) with necessary scaffolding, curing, etc complete	cft	388		



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

	<b>Roof</b>	8	<b>Steel</b> Providing MS/Tor steel-Fe 550 TMT reinforcement for all RCC works including bending, binding, keeping in position etc. complete (RCC roof, Staircase)	Kgs	As per design		
		9	<b>RCC staircase, Verandah roof beams and slab</b> Providing and laying cement concrete M 20 for RCC staircase, roof beams and slab using 20mm and downsize size granite jelly including centering, machine mixing, lifting, laying, tamping, curing etc. complete	cft	As per design		
	<b>Plaster</b>	10	<b>Plastering ceiling</b> Providing 12 mm thick plastering to ceiling in CM 1:4 inside with lime rendering including providing and removing scaffolding, rounding of all corners wherever required , curing etc. complete	sft	51		
		11	<b>Plastering Exterior- On Staircase Soffit and Sides</b> Providing 20mm thick plastering on underside (soffit) and side faces of RCC staircase including steps and landing, in CM 1:6 outside with sponge finishing including providing and removing scaffolding, curing etc. complete	sft	288		
	<b>Paint</b>	12	<b>Exterior paint</b> Providing two coats of waterproof cement paint for outside area with approved quality and colour Apex paint including one coat of primer , etc. complete	sft	339		
	<b>Flooring</b>	13	<b>Cuddapah flooring</b> Providing and laying cuddapah flooring in C M 1:4 for Verandah , Entrance steps , Staircase and headroom including curing,etc complete	sft	269		
		14	<b>Cuddapah skirting</b> Providing and laying cuddapah skirting in	rft	75		



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

			C M 1:4 for Front and rear Verandah and steps including curing, etc complete				
	<b>Railing</b>	15	<b>Staircase railing</b> Providing and fixing M.S. railing of approved design with 2 coats of enamel paint over one coat of Metal primer, fixing, etc complete	sft	100		
	<b>Roof tiles</b>	16	<b>White heat resistant tiles</b> Providing and laying weather proof course using White heat resistant tiles of 12 " x 12" size, Johnson or equivalent approved make laid to slopes in CM 1:4 after cleaning the roof surface with wire brush, applying 2 coats of waterproofing polymer, joints grouted with matching tile grout, providing coving cement plaster to corners, curing, etc complete.	sft	70		
<b>Sub total</b>							
<b>House Civil with Toilet 482 sqft</b>	<b>Anti Termite</b>	17	<b>Anti Termite</b> Anti Termite treatment				
	<b>Toilet Plinth</b>	18	<b>Foundation earth excavation</b> Earth work excavation for foundation including lead, lift etc. complete	cft	100		
		19	<b>Stone masonry</b> Providing size stone masonry for foundation and basement in CM 1:8 in courses of 20 cms high and bond stones 2 mtrs apart in each course including stones hammer dressed, curing, etc., complete	cft	100		
		20	<b>RCC Plinth beam</b> Providing and laying M 20 grade cement concrete for plinth beam of size 9' x 12" including tamping curing etc. complete.	cft	7		
		21	<b>Earth filling</b> Earth filling to the basement with suitable soil including lead, watering, etc. complete.	cft	50		
	<b>PCC</b>	22	<b>PCC</b> Providing and laying cement concrete	cft	160		



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

			1:4:8 for foundations and floor bed using 40mm size jelly including tamping, curing etc. complete (PCC needed for Toilet, House PCC already there in site)				
	<b>Brick</b>	23	<b>Brick</b> Providing and constructing 9 inch thick burnt brick walls for Toilet and rest of the building above lintel level and parapet wall upto 0'9" height with cement mortar (1:6) with necessary scaffolding, curing, etc complete	cft	338		
		24	<b>Brick</b> Providing and constructing 4 inch wide partition walls in burnt brick masonry with cement mortar (1:4) with necessary scaffolding, curing, etc complete	cft	112		
	<b>RCC</b>	25	<b>RCC lintel</b> Providing and laying M 20 grade cement concrete for RCC lintel as per design including, tamping, curing, etc. complete	cft	20		
		26	<b>RCC Chajja</b> Providing and laying M 20 grade cement concrete for RCC Chajja 4" depth as per design including, tamping, curing, etc. complete	sft	17		
		27	<b>RCC loft</b> Providing and laying M 20 grade cement concrete for RCC loft as per design including plastering with CM 1:3 curing, etc. complete	sft	58		
		28	<b>Roof beams and slab</b> Providing and laying cement concrete M 20 for RCC staircase, roof beams and slab using 20mm and downsize size granite jelly including centering, machine mixing, lifting, laying, tamping, curing etc. complete	cft	As per design		
		29	<b>RCC sills</b> Providing and laying cement concrete for 3 inch thick RCC sills below window	cft	10		



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

			openings using clean granite or trap jelly, 20mm and down size with steel or plywood or plank centering and shuttering form work including machine mixing, laying vibrating and finishing nicely with CM (1:3) including curing etc., complete				
<b>Steel</b>	30	<b>Steel</b> Providing MS/Tor steel-Fe 550 TMT reinforcement for all RCC works including bending, binding, keeping in position etc. complete (RCC roof, lintel, chajja, loft)	Kgs	As per design			
<b>Door</b>	31	<b>Main door</b> Providing and fixing wooden shutter for main door , type D1 with 32mm thick panelled door including all fittings, 2 coats enamel painting over one coat of primer,putty, etc. complete (1nos)	nos	1			
	32	<b>Bedroom Door</b> Providing and fixing flush door shutters for types D2 with 25mm thick flush door finished with laminate including all fittings, complete (1nos)	nos	1			
	33	<b>Toilet Door</b> Providing and fixing doors, type D3 WPC frames and door including all fittings, etc. complete (1nos)	nos	1			
<b>Window &amp; ventilator</b>	34	<b>Window &amp; Ventilator</b> Providing and fixing windows /ventilators with UPVC glazed casement windows, fittings, etc. complete. Inside to be provided with openable mosquito mesh with frame	sft	56			
	35	<b>Window &amp; Ventilator grill</b> Providing and fixing windows /ventilators with grills, fittings, etc. complete.	sft	56			
<b>Plaster</b>	36	<b>Plastering ceiling</b> Providing 12 mm thick plastering to ceiling in CM 1:4 inside with lime rendering including providing and removing scaffolding, rounding of all	sft	413			



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

			corners wherever required, curing etc. complete				
		37	<b>Plastering interior</b> Providing 20 mm thick plastering to burnt brick masonry in CM 1:6 inside with lime rendering including providing and removing scaffolding, rounding of all corners wherever required, curing etc. complete	sft	2,000		
		38	<b>Plastering exterior</b> Providing 20mm thick plastering to brick masonry in CM 1:6 outside with sponge finishing including providing and removing scaffolding, curing etc. complete	sft	1,161		
	<b>Cement flooring</b>	39	<b>Cement flooring</b> Providing and laying cement flooring & skirting for Living, Bed Room, Kitchen, including curing, etc complete	sft	422		
		40	<b>Cement Skirting</b> Providing and laying cement skirting 4" for Living, Bed Room, Kitchen, including curing, etc complete	rft	130		
	<b>Tile</b>	41	<b>Tile Toilet</b> Providing and laying Anti skid flooring & skirting using ceramic/vitrified tiles of size 1.20 m x 0.60 m or 0.60 x 0.60 m in C M 1:4 for Bathrooms including grouting the joints, acid wash, curing, etc complete ( basic rate of tile max of Rs.40/- per sft)	sft	31		
		42	<b>Kitchen splash back, Wash area, Wash Basin &amp; Toilet Wall Tile</b> Providing and laying glazed heat and oil resistant tiles in 2 feet high Splash back for kitchen counter, wash basin & wash area, 7 feet height for bathroom in 1:4 C.M. of approved make and size fully finished including acid wash etc (basic rate of tiles max of Rs.40/- per sft)	sft	200		



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

	<b>Heat resistant tiles</b>	43	<b>White heat-resistant tiles</b> Providing and laying weather proof course using White heat-resistant tiles of 12 " x 12" size, Johnson or equivalent approved make laid to slopes in CM 1:4 after cleaning the roof surface with wire brush, applying 2 coats of waterproofing polymer, joints grouted with matching tile grout, providing coving cement plaster to corners, curing, etc complete.	sft	480		
	<b>Paint</b>	44	<b>Exterior paint</b> Providing two coats of waterproof cement paint for outside area with approved quality and colour Apex paint including one coat of primer , etc. complete	sft	1,161		
		45	<b>Interior paint</b> Providing two coats of Low VOC Emulsion paint for internal ceiling/ wall surfaces of verandah. Living, Bedroom with approved quality and colour paint including once coat of primer, putty work, etc. complete	sft	1,853		
		46	<b>Kitchen &amp; Toilet gloss paint</b> Providing two coats of Low VOC Semi Gloss Emulsion paint for internal ceiling/ wall surfaces of Kitchen, Pooja Room and over 7 feet dadoing in Bathroom and Bathroom ceiling with approved quality and colour paint including once coat of primer, putty work, etc. complete	sft	420		
	<b>Kitchen &amp; Puja slab</b>	47	<b>Kitchen &amp; Puja Cuddapah slab</b> Providing and fixing black cuddapah counter in kitchen and Pooja with necessary brickwork supports, edge chamfering/rounding	sft	49		
<b>Sub total</b>							
<b>Services</b>	<b>Water supply, electrical and sanitary</b>	48	<b>Watersupply, electrical and sanitary services</b> Watersupply, electrical and sanitary services including soakpit but excluding fixtures like fan, tubelight, etc	L.S.			
		49	<b>Overhead water tank</b> Providing and fixing 4 layered White	Lts	750		





**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

	<b>Services</b>		Sintex/Prince/Supreme/Ashirwad/Hi tank brand overhead tank placed on a 6 inch high brickwork pedestal plastered in CM 1:3				
		50	<b>Underground sump tank</b> Providing and constructing underground sump tank with 9 inches thick burnt brick masonry walls plastered both sides and RCC roof 5 inch thick and inspection chamber 2' x 2' provided with FRP lid,etc.complete	Lts	4,000		
		51	<b>Washing platform</b> Providing washing platform	L.S.	1		
		52	<b>Rainwater recharge pit</b> Rainwater harvesting with open well lined with precast cement concrete rings and covered with RCC lid	L.S.			
<b>Sub total</b>							
<b>Interior</b>	<b>Kitchen &amp; Puja storage</b>	53	<b>Kitchen &amp; Puja Cuddapah storage</b> Providing and fixing cuddapah stone in kitchen and Pooja shelving internally	sft	49		
	<b>Cuddapah shelf</b>	54	<b>Open Cuddaph Shelf</b> Providing and fixing open Cuddapah stone shelf 10" deep, fixed in wall with necessary supports at Living & Puja areas, including edge finishing and complete	sft	20		
		55	<b>Shelf Cuddaph</b> Providing and fixing cupboards with cuddapah stone shelving internally	sft	118		
	<b>In built Seating</b>	56	<b>Inbuilt Seating space</b> Providing and fixing black stone top in living room with necessary brickwork supports,edge chamfering/rounding & 20mm thick plywood frame and shutter (Partly MS jali for battery ventilation), necessary hardware and polishing,etc,complete	sft	24		
<b>Sub total</b>							
<b>GRAND TOTAL</b>							



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

			ADD GST IF APPLICABLE				
		Notes					
		1	All quantities indicated are subject to remeasurement				
		2	Any change in specification has to be approved in writing by the Architect in charge				
		3	Non tendered items will be executed at cost plus 15% contractor's profit with prior approval in writing by the Architect in charge				

**viii. Rendered Images for Reference**

**Annexure X : Renders**



*The attached images are visual representations of the proposed house design. These renders are for reference and may not exactly reflect the final built outcome.*



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

**c. Scope of Work: House 3 – Madevi's House**

Built-up Area:

**Total House Area: 789 sq. ft.**

House area: 496 sq. ft. (Metal sheet roofing in place; house construction is incomplete)

Front Veranda Extension: 143 sq. ft. (Metal sheet roofing in place; house construction is incomplete)

Rear Veranda Extension: 100 sq. ft. (New construction)

Toilet Area: 50 sq. ft. (New construction)

**i. Current Status:**

- 2' plinth completed.
- Floor PCC and tile/finish flooring not started.
- **Construction halted after placing metal sheet roofing over the main house and front veranda. All walls (9" thick) built without plastering or finishes.**
- Door, window, and ventilator openings require partial breaking for correct placement.
- Door, window and ventilator frames and shutters not available on site.
- Loft and chajja not constructed.
- Inner shelf openings yet to be constructed.
- Electrical and plumbing works not started. Panchayat lines for the same are present in front of the house.
- Soak pit and rainwater recharge pit not constructed.
- **Toilet & rear veranda not constructed;** to be built from foundation till final finishes.

Annexure XI : Site photos



**ii. Construction Details:**

- Civil, Interior & Structural Work:
- Execute all works as per provided **architectural** (Annexure XII) **and structural drawings** (Annexure XIII).



## Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad

- Metal sheet sloped roofing in place for main house & front verandah. Construction of the main house will start **from there till finishes**.
- Includes **rear verandah and toilet construction from foundation**.
- All civil, masonry, and finishing works (including walls, flooring, plastering, shelves, lofts, chajja, internal finishes, door, window, ventilator) as per BOQ (Annexure XIV).
- Please refer to the detailed BOQ for a comprehensive understanding of the scope, materials, and specifications required for the complete execution of the project.
- Roofing:
  - Metal sheet roofing over the main house and front veranda is completed; external hardware such as gutters and other finishes, if required, are pending. Truss will be painted.
  - Flat RCC roof casting for extension covering rear verandah, bath & toilet
  - Note:  
Insulation Material: Insulation material will be procured and provided later by SELCO Foundation. If assistance is required for insulation material installation, it can be quoted separately. For now, no input is needed for the insulation material.
- Facade:
  - The painting and design for the **front facade** will be completed per the approved design provided by SELCO Foundation team.
- iii. **Electrical Scope:**
  - All internal wiring for **AC and DC loads** must be concealed within the walls using conduits.
  - Contractor to supply and install:
    - Switchboards, sockets, main switch, panel board, holders, and all internal wiring.
  - **Electrical fixtures such as lights, fans, and fittings will be procured by SELCO Foundation but must be installed by the contractor.**
  - Coordination required with SELCO Foundation's solar vendor during solar system integration.
  - Solar wiring is out of contractor's scope, but support during installation is expected.
  - Drawings will be provided; for on grid system wiring tech team will guide on site.
- iv. **Plumbing Scope:**
  - Contractor to implement entire plumbing network as per BOQ and drawings.
  - **This includes: Water lines, downpipes from roof, drainage, internal/external pipework and fixtures like drain jali etc.**
  - Plumbing fixtures such as taps, showers, etc. will be procured by SELCO Foundation, but installation must be done by the contractor.
- v. **General Requirements:**
  - Contractor responsible for all labor and on-site execution.
  - Must follow all BOQ specifications and approved drawings.



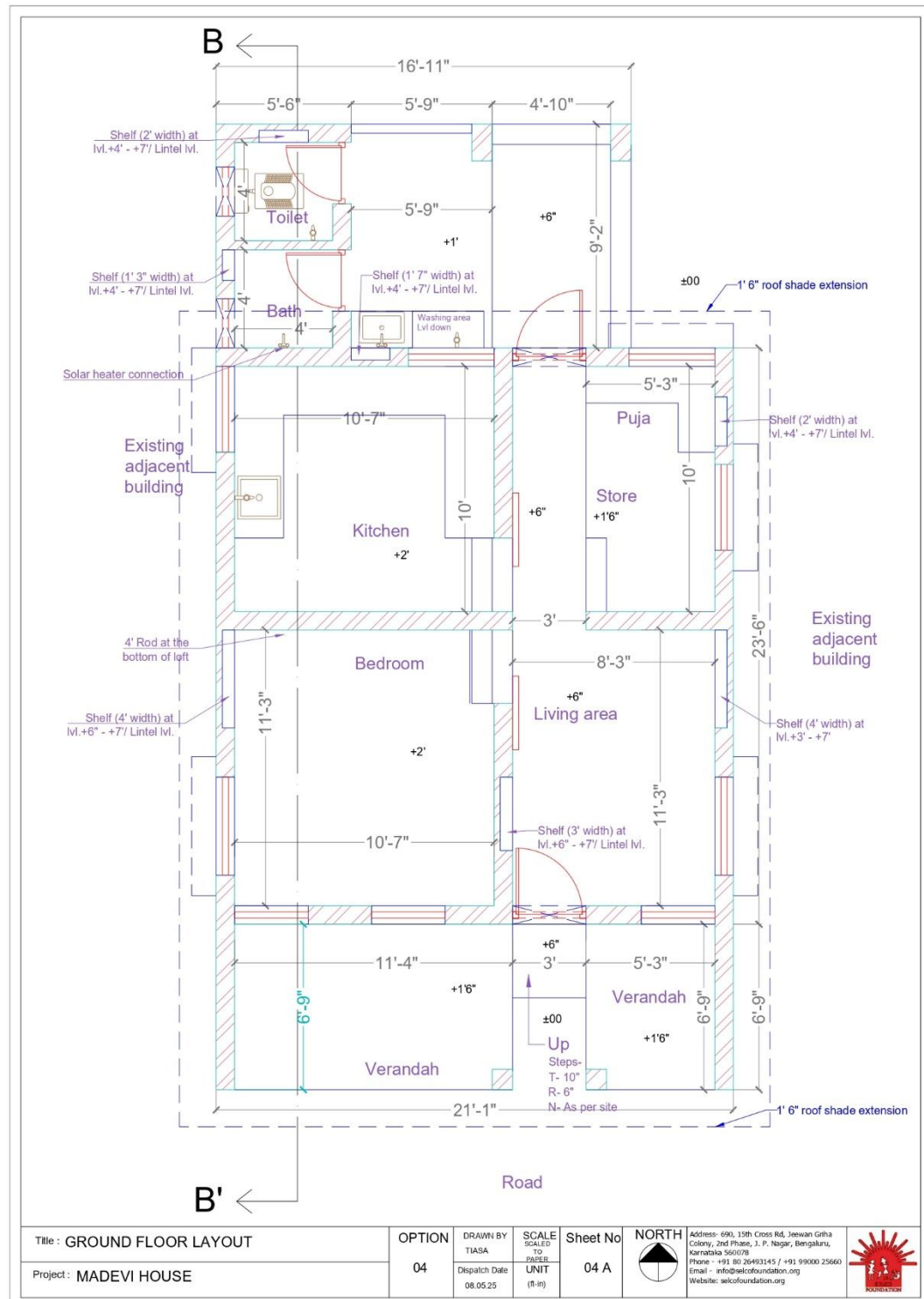
**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

- Daily site quality supervision will be conducted by the designated site supervisor.
- Contractor to provide daily progress reports along with site photos, signed by the assigned SELCO Foundation representative.
- Any change in design, material, or specification must receive prior written approval from the designated SF team in charge.

## Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad

vi. **Layout**

### Annexure XII-A: Ground Floor Layout

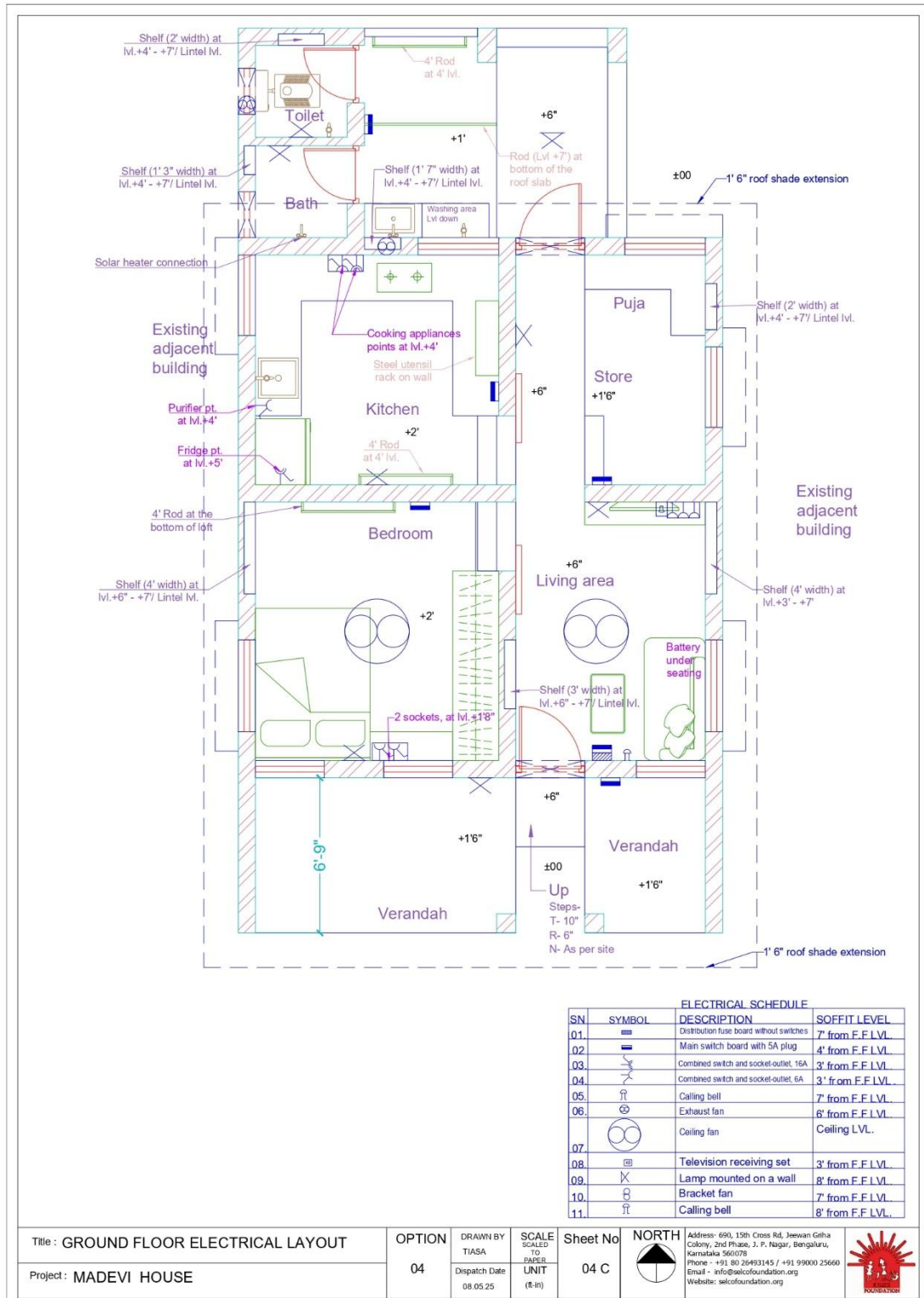






# Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad

## Annexure XII-B: Ground Floor Furniture Layout

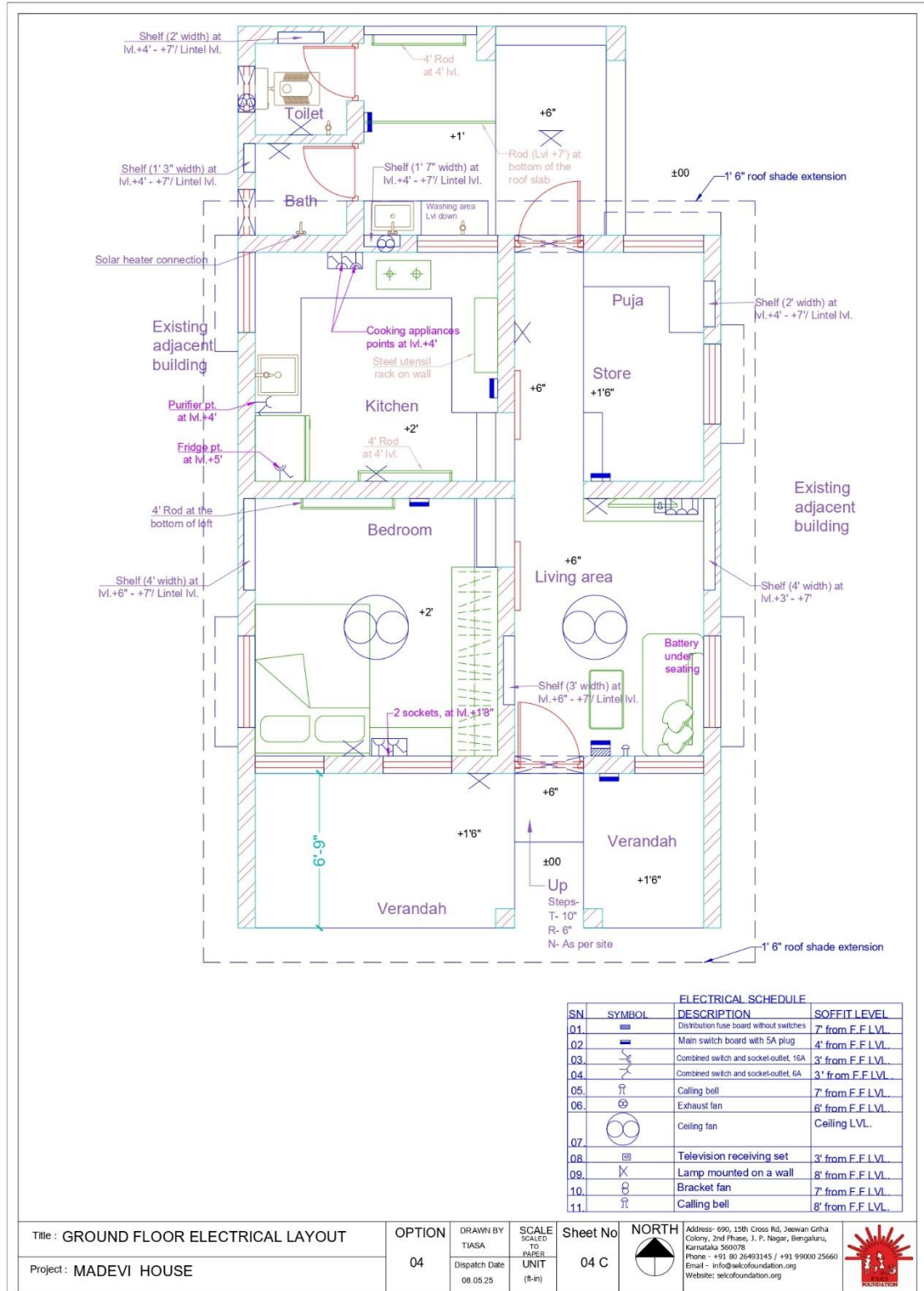






# Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad

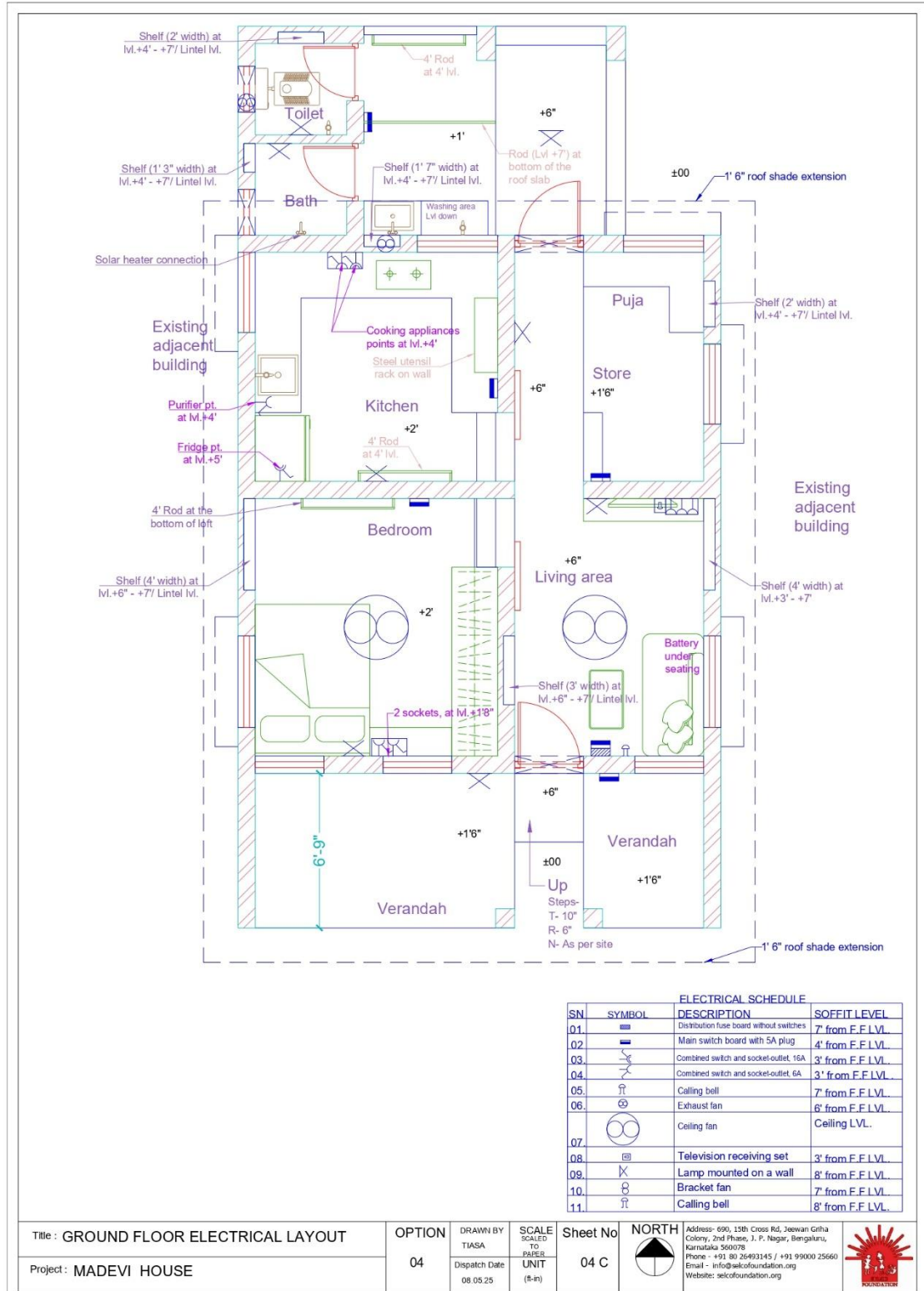
## Annexure XII-C: Ground Floor DW Schedule & Loft position





# Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad

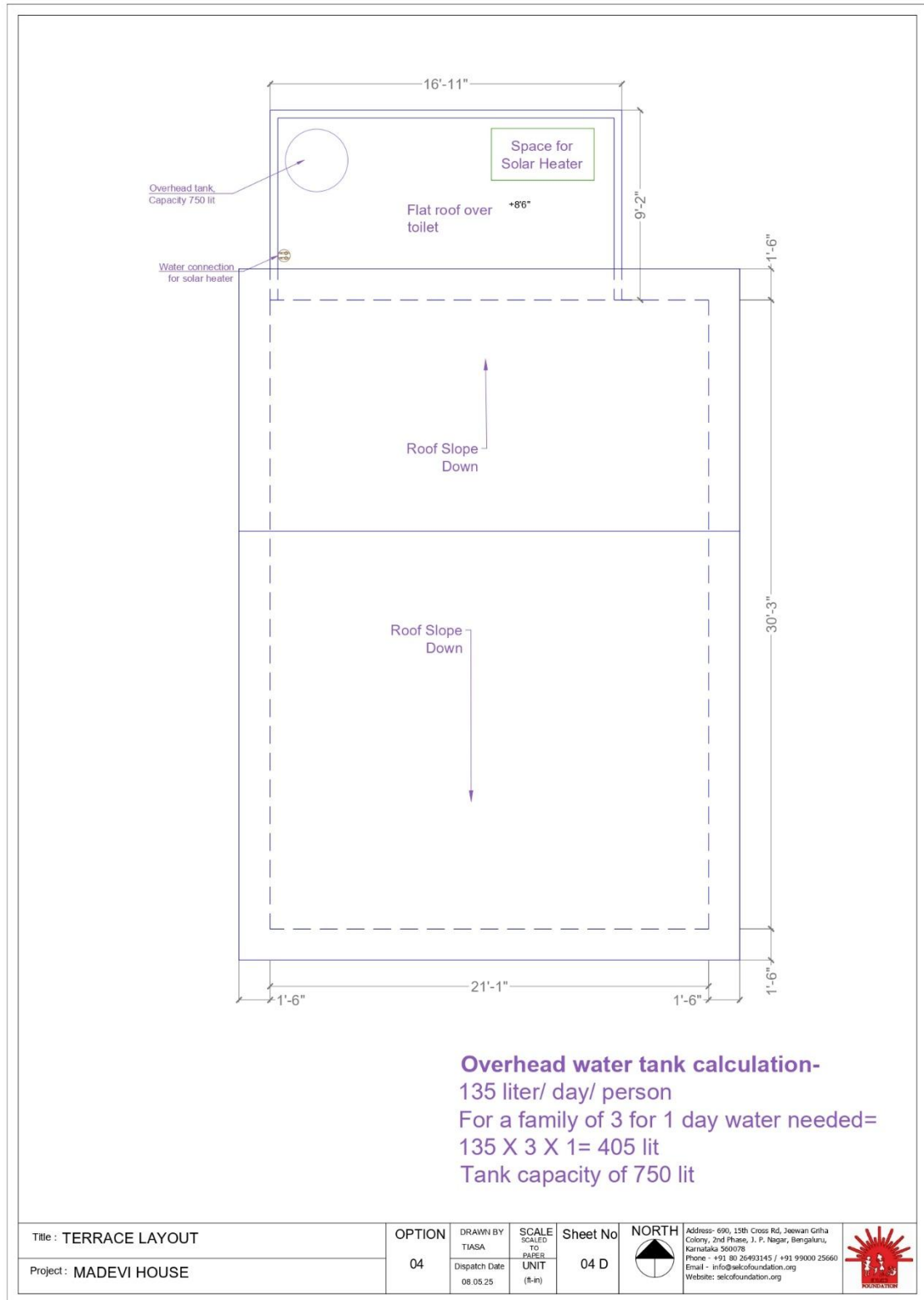
## Annexure XII-D: Ground Floor Electrical Layout





# Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad

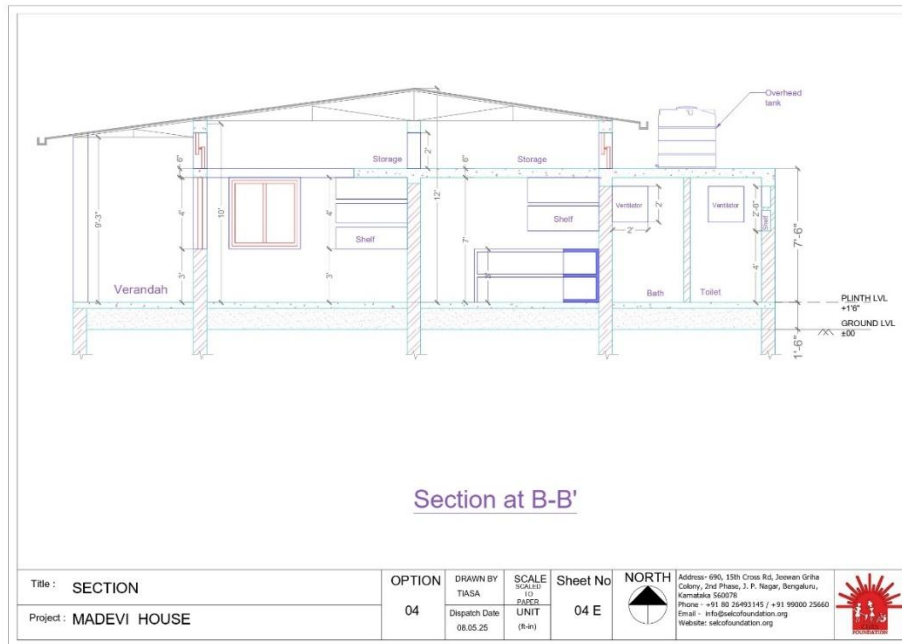
## Annexure XII-E: Ground Floor Terrace



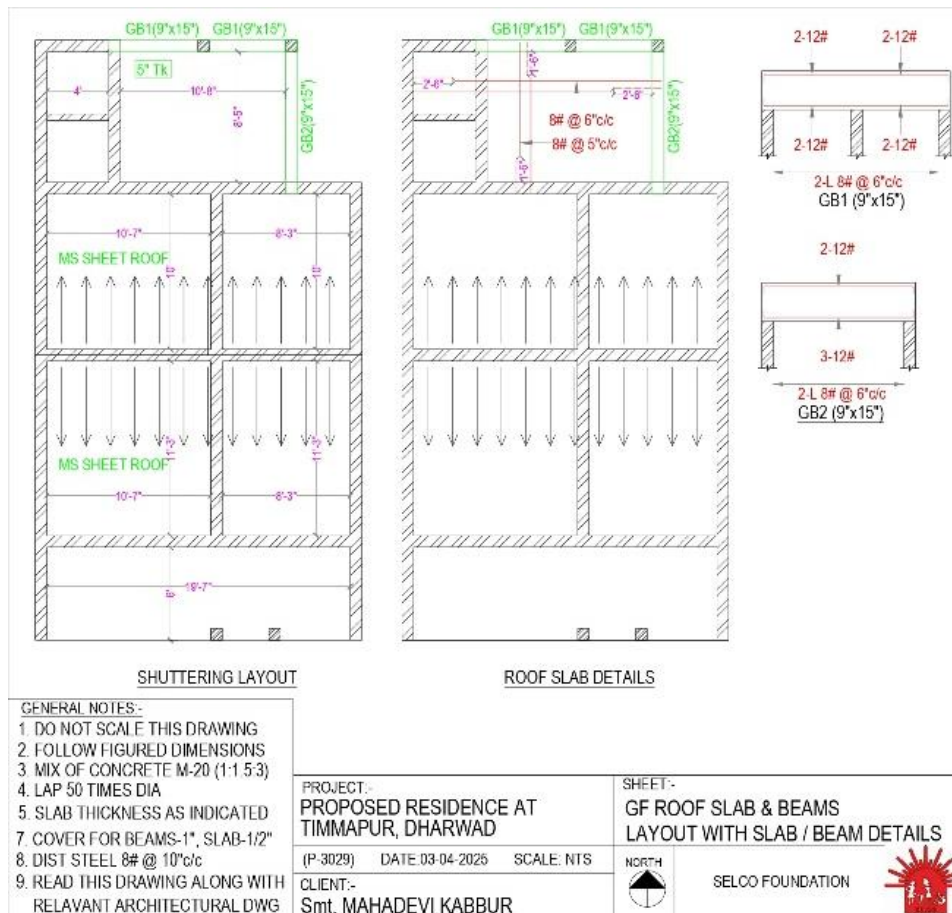


## Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad

### Annexure XII-F: Section



### Annexure XIII: Structural Drawing





**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

vii. **BOQ**

Annexure XIV: BOQ

Total sqft	789	BOQ FOR PROPOSED RESIDENCE FOR Mrs. Mahadevi					
		Sl. No	Particulars	Unit	Qty	Rate	Amount
<b>Rear Verandah 100 sqft</b>	<b>Plinth</b>	1	<b>Foundation earth excavation</b> Earth work excavation for foundation including lead, lift etc. complete	cft	266.67		
		2	<b>PCC</b> Providing and laying cement concrete 1:4:8 for foundations and floor bed using 40mm size jelly including tamping, curing etc. complete	cft	39.77		
		3	<b>Stone masonry</b> Providing size stone masonry for foundation and basement in CM 1:8 in courses of 20 cms high and bond stones 2 mtrs apart in each course including stones hammer dressed, curing, etc., complete	cft	266.67		
		4	<b>RCC Plinth beam</b> Providing and laying M 20 grade cement concrete for plinth beam of size 9' x 12" including tamping curing etc. complete.	cft	23.33		
		5	<b>Earth filling</b> Earth filling to the basement with suitable soil including lead, watering, etc. complete.	cft	166.67		
		6	<b>Brick for piers</b> Providing and constructing 9 inch thick burnt brick walls -2 nos brick piers in verandaha with cement mortar (1:6) with necessary scaffolding, curing, etc complete	cft	27.00		
	<b>Roof</b>	7	<b>Steel</b> Providing MS/Tor steel-Fe 550 TMT reinforcement for all RCC works including bending, binding, keeping in position etc. complete (RCC roof, lintel, chajja, loft)	Kgs	As per design		
		8	<b>Roof beams and slab</b> Providing and laying cement concrete M 20 for RCC staircase, roof beams and slab using 20mm and downsize size granite jelly	cft	As per design		



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

			including centering, machine mixing, lifting, laying, tamping, curing etc. complete				
	<b>Plaster</b>	9	<b>Plastering ceiling</b> Providing 12 mm thick plastering to ceiling in CM 1:4 inside with lime rendering including providing and removing scaffolding, rounding of all corners wherever required , curing etc. complete	sft	100.00		
	<b>Paint</b>	10	<b>Exterior paint</b> Providing two coats of waterproof cement paint for outside area with approved quality and colour Apex paint including one coat of primer , etc. complete	sft	100.00		
	<b>Flooring</b>	11	<b>Cuddapah flooring rear verandah</b> Providing and laying cuddapah flooring in C M 1:4 for Rear Verandah including curing, etc complete	sft	100.00		
		12	<b>Cuddapah skirting rear verandah</b> Providing and laying cuddapah skirting in C M 1:4 for rear Verandah including curing, etc complete	rft	25.00		
<b>Sub total</b>							
<b>House 496 sqft</b>	<b>Anti Termite</b>	13	<b>Anti Termite</b> Anti Termite treatment	L.S.			
<b>Toilet 50 Sqft</b>	<b>PCC</b>	14	<b>PCC</b> Providing and laying cement concrete 1:4:8 for foundations and floor bed using 40mm size jelly including tamping, curing etc. complete	cft	260.23		
<b>Front Verandah 143 sqft</b>	<b>Toilet Civil</b>	15	<b>Foundation earth excavation</b> Earth work excavation for foundation including lead, lift etc. complete	cft	133.33		
<b>Total 689 sqft</b>		16	<b>Stone masonry</b> Providing size stone masonry for foundation and basement in CM 1:8 in courses of 20 cms high and bond stones 2 mtrs apart in each course including stones hammer dressed, curing, etc., complete	cft	133.33		
		17	<b>Earth filling</b> Earth filling to the basement with suitable soil including lead, watering, etc. complete.	cft	83.33		
		18	<b>Brick</b> Providing and constructing 9 inch thick burnt brick walls for new rear verandah with cement mortar (1:6)	cft	176.4		





**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

			with necessary scaffolding, curing, etc complete				
		19	<b>Brick</b> Providing and constructing 4 inch wide partition walls in burnt brick masonry with cement mortar (1:4) with necessary scaffolding, curing, etc complete	cft	40.00		
		20	<b>RCC Plinth beam</b> Providing and laying M 20 grade cement concrete for plinth beam of size 9' x 12" including tamping curing etc. complete.	cft	11.67		
		21	<b>Roof beams and slab</b> Providing and laying cement concrete M 20 for RCC staircase, roof beams and slab using 20mm and downsize size granite jelly including centering, machine mixing, lifting, laying, tamping, curing etc. complete (Roof beams will act as lintel)	cft	As per design		
		22	<b>RCC sills</b> Providing and laying cement concrete for 3 inch thick RCC sills below window openings using clean granite or trap jelly, 20mm and down size with steel or plywood or plank centering and shuttering form work including machine mixing, laying vibrating and finishing nicely with CM (1:3) including curing etc., complete	cft	10.00		
	<b>RCC</b>	23	<b>RCC Chajja</b> Providing and laying M 20 grade cement concrete for RCC Chajja 4" depth as per design including, tamping, curing, etc. complete	sft	27		
		24	<b>RCC loft</b> Providing and laying cement concrete M 20 for RCC lofts using 20mm and downsize size granite jelly including centering, machine mixing, lifting, laying, tamping, curing etc. complete	sft	28.00		
	<b>Steel</b>	25	<b>Steel</b> Providing MS/Tor steel-Fe 550 TMT reinforcement for all RCC works including bending, binding, keeping in position etc. complete (RCC roof, lintel, chajja, loft)	Kgs	As per design		
	<b>Door</b>	26	<b>Main &amp; Rear door</b> Providing and fixing wooden shutter	nos	2.00		



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

			for main door and rear door , type D1 with 32mm thick panelled door including all fittings, 2 coats enamel painting over one coat of primer, putty, etc. complete (2nos)				
		27	<b>Bedroom and Kitchen Door</b> Providing and fixing sliding flush door shutters for types D2 with 25mm thick flush door finished with laminate including all fittings, complete (2nos)	nos	2.00		
		28	<b>Toilet &amp; Bath Door</b> Providing and fixing doors, type D3 WPC frames and door including all fittings, etc. complete (2nos)	nos	2.00		
	<b>Widow &amp; ventilator</b>	29	<b>Window &amp; Ventilator</b> Providing and fixing windows /ventilators with UPVC glazed casement windows, fittings, etc. complete. Inside to be provided with openable mosquito mesh with frame	sft	121.00		
		30	<b>Window &amp; Ventilator grill</b> Providing and fixing windows /ventilators with grills, fittings, etc. complete.	sft	121.00		
	<b>Plaster</b>	31	<b>Plastering ceiling</b> Providing 12 mm thick plastering to ceiling in CM 1:4 inside with lime rendering including providing and removing scaffolding, rounding of all corners wherever required , curing etc. complete (Toilet ceiling)	sft	35.00		
		32	<b>Plastering interior</b> Providing 20 mm thick plastering to burnt brick masonry in CM 1:6 inside with lime rendering including providing and removing scaffolding, rounding of all corners wherever required , curing etc. complete (Includes full house)	sft	3000		
		33	<b>Plastering exterior</b> Providing 20mm thick plastering to brick masonry in CM 1:6 outside with sponge finishing including providing and removing scaffolding, curing etc. complete (Includes full house)	sft	1,400.00		
	<b>Verandah flooring</b>	34	<b>Cuddapah flooring front verandah</b> Providing and laying cuddapah flooring in C M 1:4 for front Verandah including curing, etc complete	sft	150.00		



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

	35	<b>Cuddapah skirting front verandah</b> Providing and laying cuddapah skirting in C M 1:4 for Front Verandah including curing, etc complete	rft	50.00		
<b>Cement flooring</b>	36	<b>Cement flooring</b> Providing and laying cement flooring & for Living, Bed Room, Kitchen, including curing, etc complete	sft	465		
	37	<b>Cement Skirting</b> Providing and laying cement skirting 4" for Living, Bed Room, Kitchen, including curing,etc complete	sft	52		
<b>Tile</b>	38	<b>Tile Toilet</b> Providing and laying Anti skid flooring & skirting using ceramic/vitrified tiles of size 1.20 m x 0.60 m or 0.60 x 0.60 m in C M 1:4 for Bathrooms including grouting the joints, acid wash, curing, etc complete.	sft	20.00		
	39	<b>Kitchen splash back, Wash area, Wash Basin, Bath &amp; Toilet Wall Tile</b> Providing and laying glazed heat and oil resistant tiles in 2 feet high Splash back for kitchen counter, wash basin & wash area, 4 feet in toilet, 7 feet height for bath in 1:4 C.M. of aproved make and size fully finished including acid wash etc	sft	226.00		
<b>Paint</b>	40	<b>Exterior paint</b> Providing two coats of waterproof cement paint for outside area with approved quality and colour Apex paint including one coat of primer , etc. complete	sft	1,400.00		
	41	<b>Interior paint</b> Providing two coats of Low VOC Emulsion paint for internal ceiling/ wall surfaces of verandah. Living, Bedroom with approved quality and colour paint including once coat of primer, putty work, etc. complete	sft	2,450.00		
	42	<b>Kitchen &amp; Toilet gloss paint</b> Providing two coats of Low VOC Semi Gloss Emulsion paint for internal ceiling/ wall surfaces of Kitchen and over dadoing in Toilet and Toilet/ Bathroom ceiling with approved quality and colour paint including once coat of primer, putty work, etc. complete	sft	650.00		



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

		43	<b>Truss paint</b> Painting of steel truss including all steel members (chords, purlins, bracings, etc.) with 2 coats of enamel paint over one coat of primer, including surface cleaning and preparation as required. Metal shade area is 650 sqft. All trusses etc of this shade area will be painted	L.S.			
		44	<b>Roof paint</b> Providing and coating Damp proof paint on flat roof	sft	150.00		
	<b>Kitchen &amp; Puja slab</b>	45	<b>Kitchen &amp; Puja Cuddapah slab</b> Providing and fixing black cuddapah counter in kitchen and Pooja with necessary brickwork supports, edge chamfering/rounding	sft	56.00		
	<b>Labour work</b>	46	<b>Labour work at raised area</b> Lowering raised area in part of Living room	sft	60.00		
<b>Sub total</b>							
<b>Services</b>	<b>Water supply, electrical and sanitary</b>	47	<b>Watersupply, electrical and sanitary services</b> Watersupply,electrical and sanitary services (Including Gutter at shade ends) including soakpit but excluding fixtures like fan, tubelight, etc	L.S.			
	<b>Services</b>	48	<b>Overhead water tank</b> Providing and fixing 4 layered White overhead tank placed on a 6 inch high brickwork pedestal plastered in CM 1:3	Lts	750		
		49	<b>Underground sump tank</b> Providing and constructing underground sump tank with 9 inches thick burnt brick masonry walls plastered both sides and RCC roof 5 inch thick and inspection chamber 2' x 2' provided with FRP lid,etc.complete	Lts	4,000		
		50	<b>Washing platform</b> Providing washing platform	L.S.	1		
		51	<b>Rainwater recharge pit</b> Rainwater harvesting with open well lined with precast cement concrete rings and covered with RCC lid	L.S.			
<b>Sub total</b>							
<b>Interior</b>	<b>Kitchen &amp; Puja storage</b>	52	<b>Kitchen &amp; Puja Cuddapah storage</b> Providing and fixing cuddapah stone in kitchen and Pooja shelving internally	sft	56		



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

	<b>Shelf Storage</b>	53	<b>Open Cuddaph Shelf</b> Providing and fixing open Cuddaph stone shelf 10" deep, fixed in wall with necessary supports at Living & Puja areas, including edge finishing and complete	sft	20		
		54	<b>Shelf Cuddaph</b> Providing and fixing cupboards with cuddapah stone shelving internally	sft	105		
	<b>In built Seating</b>	55	<b>Inbuilt Seating space</b> Providing and fixing black stone top in living room with necessary brickwork supports, edge chamfering/rounding & 20mm thick plywood frame and shutter (Partly MS jali for battery ventilation), necessary hardware and polishing, etc, complete	sft	24		
<b>Sub total</b>							
<b>GRAND TOTAL</b>							
ADD GST IF APPLICABLE							
		Notes:					
		1	All quantities indicated are subject to remeasurement				
		2	Any change in specification has to be approved in writing by the Architect in charge				
		3	Non tendered items will be executed at cost plus 15% contractor's profit with prior approval in writing by the Architect in charge				

**viii. Rendered Images for Reference**

Annexure XV : Renders



*The attached images are visual representations of the proposed house design. These renders are for reference and may not exactly reflect the final built outcome.*



## **Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

### **4. Reporting and Supervision**

The contractor/agency shall work under the supervision of the SELCO Foundation team, ensuring quality construction as per the approved scope. Daily site supervision will be conducted by an assigned site supervisor for quality checks. The contractor shall provide a weekly progress report, to be reviewed and signed by the designated person at the site.

**Note:**

Orientation and review sessions will be held with the SELCO Foundation team at key milestones-before implementation, mid-way, and post-completion.

### **5. Timelines:**

- Total Duration: 2 months from the date of agreement signing.
- Start Date: Construction must begin within 10 days of signing the agreement.
- Activities include stakeholder meetings, site visits, material procurement, civil work, finishing, and final handover for 3 homes in Timmapur village.

### **6. Eligibility Criteria:**

- Minimum 3 years' experience in residential construction.
- Understanding of context-appropriate, energy efficient and affordable construction techniques.
- Knowledge of basic thermal comfort strategies for homes and building construction materials for maintaining comfort strategies and energy efficiency.
- Ability to manage procurement, labor, site coordination and quality control/ timely delivery of projects.

### **7. Selection**

The proposal will be evaluated based on the following general areas:

- Contractor will be evaluated based on prior work experience/ portfolio.
- Contractor to understand the core value and mission of the organization, SELCO Foundation.
- Contractor to have a qualified team with relevant experience.
- The financial proposal will be evaluated based on approach & work plan, prior work experience, expertise, cost, and proposed payment terms.

### **8. Payment Terms:**

Fixed as per the agreement between the contractor and SELCO Foundation. Please provide your proposal and quotation for the above-mentioned program requirements, capturing timelines and splitting costs wherever possible.

- Please provide a break-up of the costs as an agreement quotation for the services provided on official letterhead, with signatures and stamps, wherever applicable.





## Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad

- Kindly mention your name, address, contact information, along with correct bank details and signature in the agreement quotation.
- Please note that the prices quoted by the contractor are firm, final, and binding, and not subject to variation on any account.
- The quotation is inclusive of all necessary taxes and applicable costs.
- Other than the proposed amount, no additional amounts will be paid for fuel, phone charges, etc.
- Deliverables need to be submitted as per the given timeline or before the expected date.
- Deliverables need to be submitted as per the given timeline or before the expected date.
- Non-tendered items, if required, will be executed at actual cost plus 15% contractor's profit, with prior written approval from the SF team in charge.

### Payment Timeline:

Stage	Payment	Description
1st	20%	Advance upon agreement signing and material mobilization
2nd	10%	Brick work upto roof
3rd	10%	Upon completion of roof & parapet
4th	20%	Upon completion of external plaster
5th	20%	Upon completion of internal plaster
6th	20%	After submission of all deliverables and site completion

## 9. To apply

Interested contractors, with relevant experience (please include samples and/or references of the previous similar work as proof of experience) and based out of India are requested to reach out with a detailed proposal giving a brief on the methodology and the process they will uptake for this project, including design remuneration (per. Sq.ft), timelines and milestones and submit the same to google form <https://forms.gle/XWUDnTwIM3rKkBYg9> on **before 31<sup>st</sup> May 2025.** ‘

Any further queries or if you require any additional drawings or would like the AutoCAD/Excel soft copies of the attached annexures, please write to [procurement@selcofoundation.org](mailto:procurement@selcofoundation.org) with a subject line: **“Implementation and Completion of Homes under “Homes for Life” Project– Timmapur, Dharwad District”**

## 10. Refer Terms and Condition:

### 1. Sub-contracting:

In the event that the Consultant requires the services of subcontractors to perform any obligations under the Contract, the Consultant shall obtain the prior written approval of the Foundation. Any rejection or non-performance of the subcontractor shall not, in and of itself,



## **Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

entitle the Consultant to claim any delays in the performance, or to assert any excuses for the non-performance, of any of its obligations under the Contract, and the Consultant shall be solely responsible for all services, obligations and deliverables performed by its subcontractors

### **2. Quality Assurance**

The data submitted to Selco Foundation should be accurate, complete, reliable and relevant. Consulting agency shall establish additional layers for data cleaning and submission.

### **3. Financials & Reporting**

TDS will be deducted on the fixed amount as per Income Tax Act and Rate of Percentage. In accordance with the Central Board of Direct Taxes circular No. 7 of 2022 dated 30th March, 2022 in relation to the clarifications with respect to Section 114AAA of the Income-tax Rules, 1962, failure to link Aadhar number to the PAN card and/or failure by any person, who falls within the income tax bracket or otherwise, to file tax returns in relation to payment of TDS for any service (in accordance with Section 206AB and 206AA) and/or an inoperative PAN card will result in a 20% tax deduction.

### **4. Indemnification**

Both parties shall indemnify and hold its Trustees, Directors and representative officers, employees, agents harmless from and against any and all claims, demands, actions, losses, liabilities, charges, damages, costs and expenses (including but not limited to reasonable attorney's fees) arising out of or resulting from (1) any claims arising in connection with activities undertaken by both parties in connection with the project or (2) Consultant's gross negligence or willful misconduct or breach of any undertaking, covenant, representation or warranty contained in this agreement and/ or the actual infringement of any patent, trademark, copyrights, trade secret or any other intellectual property right of the third party.

### **5. Patent, Copyright and other Proprietary Rights**

i. Except as is otherwise expressly provided in writing in the Contract, the Foundation shall be entitled to all intellectual property and other proprietary rights including, but not limited to, patents, copyrights, and trademarks, with regard to products, processes, inventions, ideas, know-how, or documents and other materials which the Consultant has developed for the Foundation under the Contract and which bear a direct relation to or are produced or prepared or collected in consequence of, or during the course of, the performance of the Contract. The Contractor acknowledges and agrees that such products, documents and other materials constitute works made for hire for the Foundation.



**Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

- ii. Subject to the foregoing provisions, all documents, reports, recommendations, documents, and all other data compiled by or received by the Consultant under the Contract shall be the property of the Foundation, shall be made available for use or inspection by the Foundation at reasonable times and in reasonable places, shall be treated as confidential, and shall be delivered only to the Foundation's authorized officials on completion of work under the Contract
- iii. The Consultant will treat all information given to him/her as information with proprietary value and will not disclose the same to competitors or any outsiders. The Consultant will not at any time, except under legal process, divulge any trade or business secret relating to the Foundation or any customer or agent of the Foundation, which may become known to him by virtue of his position as consultant, save in so far as such disclosure shall be necessary in the interest and for the benefit of the said Foundation and will be true and faithful to the Foundation in all dealings and transactions whatsoever relating to the said Foundation.
- iv. Reports or other data that are developed specifically for the performance of this Contract shall be the property of the Foundation and the Consultant shall deliver reports and data to the Foundation as per the milestones. Dissemination of the reports and any information from the said contracts shall be done with written approval from the Foundation.

**6. Publicity, use of name & Logo of the Foundation:**

The Consultant shall not advertise or otherwise make public for purposes of commercial advantage or goodwill that it has a contractual relationship with the Foundation, nor shall the Consultant, in any manner whatsoever use the name, emblem, logo or official seal of the Foundation or that of SELCO in connection with its business or otherwise without the written permission of the Foundation.

**7. Observance of Law:**

**Compliance with Laws and Regulations:** The Consultant will comply with all applicable laws, rules, regulations and statutory requirements and amendments thereof, in the manufacture and distribution of products and supplies and in providing services to the SELCO and during the term of this Agreement.

**Child Labor:** The Consultant will, its parent entities, partners or subcontractors nor any of its subsidiary or affiliated entities (if any) is engaged in any practice inconsistent with the rights set forth in the Child Labour (Prohibition and Regulation) Act of 1986, which, inter alia, requires that a child shall be protected from performing any work that is likely to be hazardous or to interfere with the child's education, or to be harmful to the child's health or physical, mental, spiritual, moral, or social development.



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**Forced Labor:** The Consultant will not engage in any activity that will result in forced or compulsory labor under applicable laws including the Bonded Labour System (Abolition) Act, 1976,

**Abuse of Labor:** Consultant will act in accordance with applicable laws and regulations and will not violate the rights of labourers as stated in The Factories Act, 1948 and similar legislations.

**Working Hours, Overtime, Wages and Other Benefits-**Working hours, wages and benefits shall be provided by the Consultant to its staff and employees in accordance with applicable laws including the Minimum Wages Act, 1948.

**Declaration of blacklisting:** Consultant represents and warrants to SELCO that, as on the date of signing of this Purchase Order, it is neither blacklisted/ debarred nor it is under a declaration of ineligibility by Central / State or Semi-Government Organization/Department or Institutions and Public Sector Undertakings in India and abroad. The Consultant further undertakes to duly inform SELCO in the event it is blacklisted subsequent to execution of this Purchase Order.

**Compliance with Anti-bribery Laws:** Consultant and each of its directors, officers, employees, agents or other ( collectively referred to as "Consultant" ) represent and warrant that it shall not either directly or on behalf of SELCO Foundation give, offer, promise to offer, or authorize the offer, directly or indirectly (proxy bribing), anything of value (such as money, shares, goods or service, gifts or entertainment) to government officials, government customers, potential government customers or foreign government officials including officials of any public international organizations or officials of any political party either in India or abroad ("Officials") with an Intent to influence any act or decision in his or her official capacity Induce the Official to do or omit to do any act in violation of his or her lawful duty to obtain any improper advantage, or Induce to use such Official 's influence improperly to affect or influence an act or decision.



## **Terms of Reference (ToR) for completion of Partially Constructed Homes with Sustainable and Thermally Comfortable Solutions at Timmapur, Dharwad**

The Consultant shall not provide any offering, promising, giving or receive, solicit or accept a financial or other advantage, or any other thing of value, with the intention of influencing or rewarding the behaviour of a person in a position of trust to perform a public, commercial or legal function to obtain or retain a commercial advantage.

The Consultant understands and acknowledges that any non-adherence to the warranty as stated herein above will be violation of the provisions of the Indian Prevention of Corruption Act, 1988 and other applicable laws and legislations ("Anti-bribery Laws").

In addition, Consultant agrees to promptly report to SELCO Foundation of any incident of breach or potential breach of this section.

Compliance with Sexual Harassment of Women (Prevention, Prohibition & Redressal) Act, 2013 (PoSH): The Consultant shall agree to adhere to the mandates prescribed under the Sexual Harassment of Women (Prevention, Prohibition & Redressal) Act, 2013, which requires all workplaces to have a Policy and Internal Committee to address complaints of sexual harassment that women may face at the workplace.

### **8. Termination:**

Either party may terminate this contract by giving a notice in writing to the other party stating their intention to terminate the same on the expiration of Seven (7) days from the date of such notice. In addition, the Foundation may also terminate this contract forthwith in the event of any fraud, misconduct or neglect of duties on the part of the Consultant. Any notice to be given hereunder shall be sufficiently given to the Consultant if forwarded by registered post or by Courier Service to the last known postal address of the Consultant and shall be sufficiently given to the Foundation if similarly forwarded to the registered office. Upon the termination of this contract and payment of the said fees due up to such termination, and payment of all disbursements and out-of-pocket expenses incurred up to the date thereof (provided the same have been incurred after obtaining prior approval), the Consultant shall deliver all deeds, documents and paper in his possession relating to the business of the Foundation or as the Foundation shall direct, and shall continue to afford him all reasonable assistance for concluding pending matters at the date of such termination without making any charge thereof.

### **9. Force Majeure:**

i. *Force majeure* as used herein means any unforeseeable and irresistible act of nature, any act of war (whether declared or not), invasion, revolution, insurrection, terrorism, or any other acts of a similar nature or force, *provided that* such acts arise from causes beyond the control and without the fault or negligence of the Consultant



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- ii. In the event of and as soon as possible after the occurrence of any cause constituting *force majeure*, the affected Party shall give notice and full particulars in writing to the other Party, of such occurrence or cause if the affected Party is thereby rendered unable, wholly or in part, to perform its obligations and meet its responsibilities under the Contract. The affected Party shall also notify the other Party of any other changes in condition or the occurrence of any event which interferes or threatens to interfere with its performance of the Contract. Not more than fifteen (15) days following the provision of such notice of *force majeure* or other changes in condition or occurrence, the affected Party shall also submit a statement to the other Party of estimated expenditures that will likely be incurred for the duration of the change in condition or the event of *force majeure*.
- iii. On receipt of the notice or notices required hereunder, the Party not affected by the occurrence of a cause constituting *force majeure* shall take such action as it reasonably considers to be appropriate or necessary in the circumstances, including the granting to the affected Party of a reasonable extension of time in which to perform any obligations under the Contract.
- iv. If the Consultant is rendered unable, wholly or in part, by reason of *force majeure* to perform its obligations and meet its responsibilities under the Contract, the Foundation shall have the right to suspend or terminate the Contract on the same terms and conditions as are provided for in this Contract.
- v. Both the Foundation and the Consultant fully and freely intend to create an independent Contractor relationship under this Contract. Nothing herein shall be deemed to establish a partnership, joint venture, association or employment relationship between the parties. Both parties agree that the consultant has the right to sole and exclusive control over the manner and means employed in performing their activities under this Contract.

**10. Settlement of disputes:**

- i. The Parties shall use their best efforts to amicably settle any dispute, controversy, or claim arising out of the Contract or the breach, termination, or invalidity thereof.

Any dispute, controversy, or claim between the Parties arising out of the Contract or the breach, termination, or invalidity thereof, unless settled amicably, within sixty (60) days after receipt by one Party of the other Party's written request for such amicable settlement, the matter shall be referred by either Party to arbitration in accordance with the Arbitration and Conciliation Act, 1996. The venue of the arbitration shall be at Bangalore. Likewise, the jurisdiction will vest with courts in Bangalore.

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